

5590 (A,B,C)

SEACOAST
WATERSONG

60' X 60'

REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY
②	04-15-21	THIS MASTER CREATED FROM PLANS RECIEVED FROM P&H DATED	MF
①	07-07-21	-REVISED 2ND FLOOR EXTERIOR FINISH FROM STUCCO TO SMOOTH PANEL BOARD	JA
		-UPDATE CODE REFERENCES TO FBCR 2020, 1TH ED. & NEC 2017	
		-REVISE ALL ARCH SOFFITS TO FLAT	
③	11-16-21	-CHANGED WET BAR TO OPT.	AN
④	11-09-22	-CLOSETS W/ DOORS ILO LUGGAGE SHELF	AN

SHEET INDEX- ELEVATION "A"

00	COVER SHEET
01A.0	FOUNDATION PLAN
02A.0	FLOOR PLAN W/ DIMENSIONS
03A.0	FLOOR PLAN W/ NOTES
04A.0	UPPER FLOOR PLAN W/ DIMENSIONS
05A.0	UPPER FLOOR PLAN W/ NOTES
06A.0	EXTERIOR ELEVATIONS- FRONT/ REAR
07A.0	EXTERIOR ELEVATIONS- LEFT/ RIGHT
08	CROSS SECTION AND INTERIOR ELEVATIONS
09A.0	ELECTRICAL PLAN
10A.0	UPPER ELECTRICAL PLAN
11A.0	TRUSS LAYOUT
12A.0	UPPER TRUSS LAYOUT
13A.0	PRECAST LINTEL LAYOUT
14	TYPICAL DETAILS/CONNECTOR SCHEDULE
15	TYPICAL DETAILS
16	TYPICAL DETAILS
17	TYPICAL DETAILS
18	TYPICAL DETAILS
D1	TYPICAL STRUCTURAL DETAILS
D2	TYPICAL STRUCTURAL DETAILS
D3	TYPICAL STRUCTURAL DETAILS
D4	TYPICAL STRUCTURAL DETAILS
D5	TYPICAL STRUCTURAL DETAILS

SHEET INDEX- ELEVATION "B"

00	COVER SHEET
01B.0	FOUNDATION PLAN
02B.0	FLOOR PLAN W/ DIMENSIONS
03B.0	FLOOR PLAN W/ NOTES
04B.0	UPPER FLOOR PLAN W/ DIMENSIONS
05B.0	UPPER FLOOR PLAN W/ NOTES
06B.0	EXTERIOR ELEVATIONS- FRONT/ REAR
07B.0	EXTERIOR ELEVATIONS- LEFT/ RIGHT
08	CROSS SECTION AND INTERIOR ELEVATIONS
09B.0	ELECTRICAL PLAN
10B.0	UPPER ELECTRICAL PLAN
11B.0	TRUSS LAYOUT
12B.0	UPPER TRUSS LAYOUT
13B.0	PRECAST LINTEL LAYOUT
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15	TYPICAL DETAILS
16	TYPICAL DETAILS
17	TYPICAL DETAILS
18	TYPICAL DETAILS
D1	TYPICAL STRUCTURAL DETAILS
D2	TYPICAL STRUCTURAL DETAILS
D3	TYPICAL STRUCTURAL DETAILS
D4	TYPICAL STRUCTURAL DETAILS
D5	TYPICAL STRUCTURAL DETAILS

SHEET INDEX- ELEVATION "C"

00	COVER SHEET
01C.0	FOUNDATION PLAN
02C.0	FLOOR PLAN W/ DIMENSIONS
03C.0	FLOOR PLAN W/ NOTES
04C.0	UPPER FLOOR PLAN W/ DIMENSIONS
05C.0	UPPER FLOOR PLAN W/ NOTES
06C.0	EXTERIOR ELEVATIONS- FRONT/ REAR
07C.0	EXTERIOR ELEVATIONS- LEFT/ RIGHT
08	CROSS SECTION AND INTERIOR ELEVATIONS
09C.0	ELECTRICAL PLAN
10C.0	UPPER ELECTRICAL PLAN
11C.0	TRUSS LAYOUT
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15	TYPICAL DETAILS
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17	TYPICAL DETAILS
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D1	TYPICAL STRUCTURAL DETAILS
D2	TYPICAL STRUCTURAL DETAILS
D3	TYPICAL STRUCTURAL DETAILS
D4	TYPICAL STRUCTURAL DETAILS
D5	TYPICAL STRUCTURAL DETAILS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1th EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: 0000, WATERSONG

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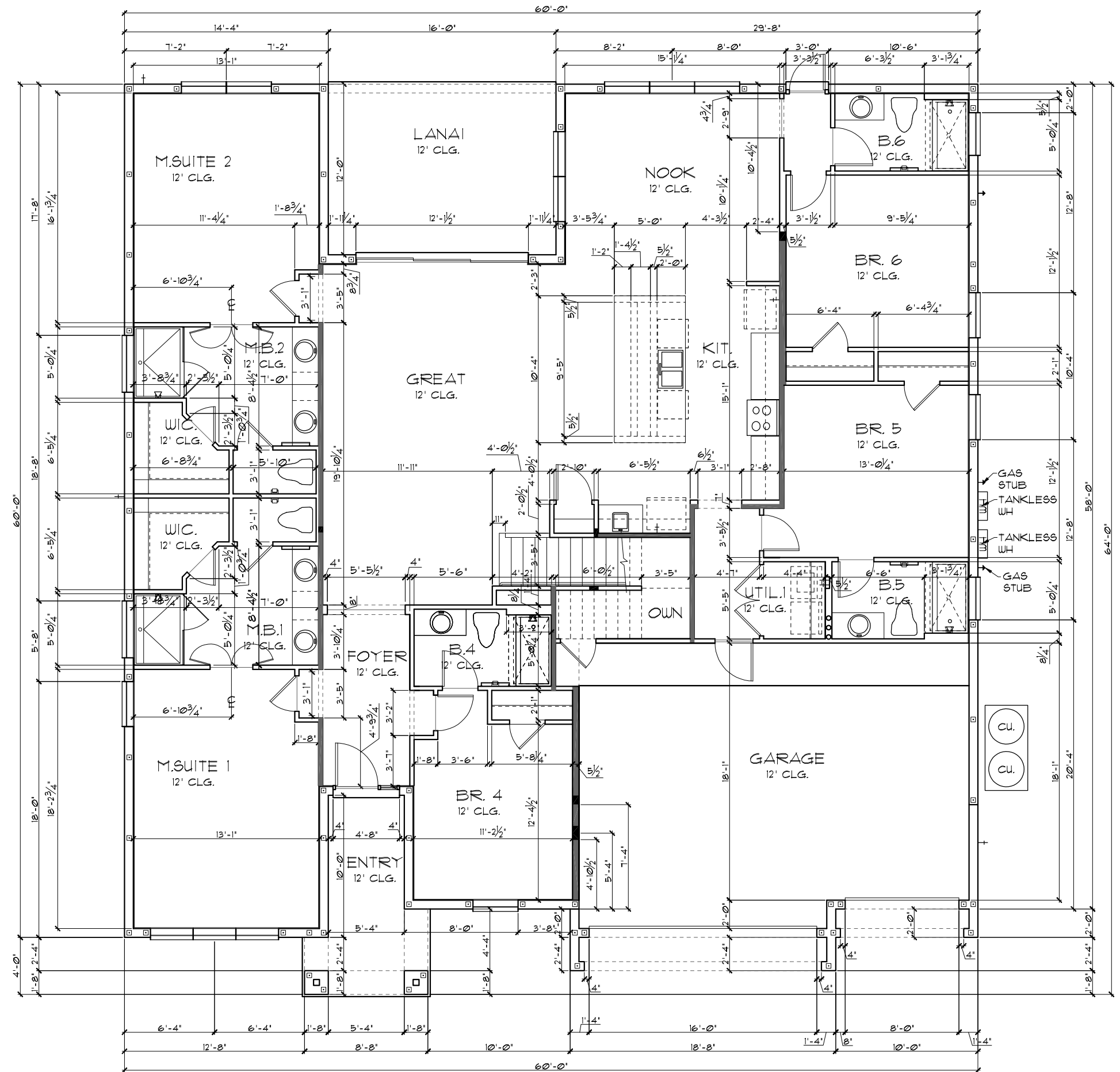
REVISIONS		BY
Engineering By: DBE and C MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292		
A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida 32811 Phone: (407) 529 - 3000		
Park Square HOMES		
COVER SHEET		
SEACOAST		PARADISO GRANDE
5590		
DATE	04-15-21	
SCALE	AS NOTED	
DRAWN	RDC	
JOB	5590	
SHEET	00	
OF	SHEETS	

TABULATION	
UPPER LIVING	2,846 SF.
LOWER LIVING	2,144 SF.
TOTAL LIVING	5,590 SF.
GARAGE	567 SF.
ENTRY	155 SF.
LANAI	192 SF.
TOTAL UNDER ROOF	6,504 SF.

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
2. DO NOT SCALE PRINTS CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE $3\frac{1}{2}$ " UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE $1\frac{1}{2}$ " UNLESS NOTED OTHERWISE.
5. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

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FLOOR PLAN W/ DIMENSIONS "A"

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

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Park Square Homes has

DATE	04-15-2
SCALE AS NOTED	
DRAWN	RDO
JOB	5590
SHEET	02A.0
OF SHEETS	

SEARCH

PARADISO GRANDE

FLOOR PLAN W/ DIMENSIONS

**Park
Square
HOMES**

ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000

DBE and C
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

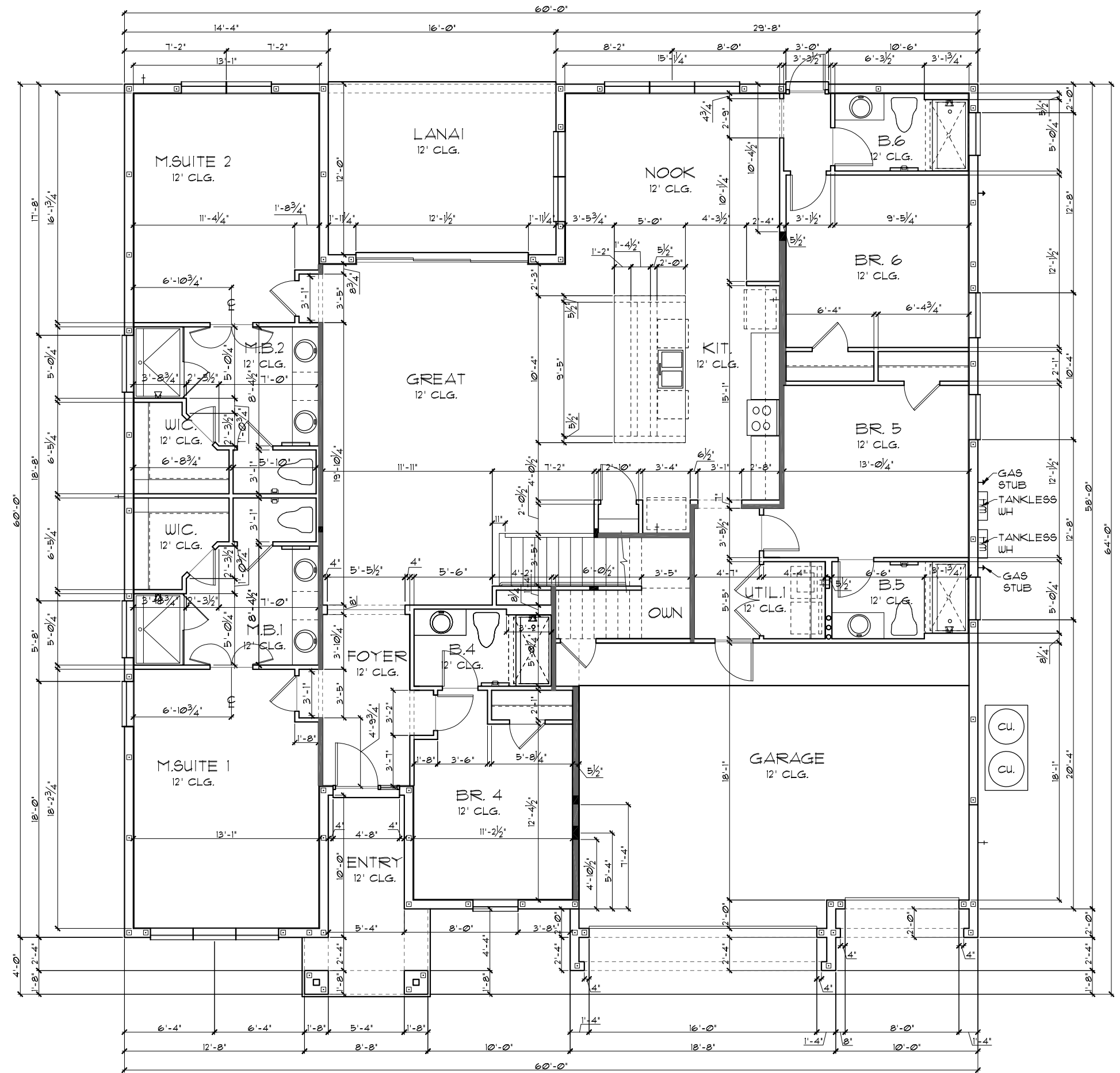
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1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 40 MPH WINDS PER THE 1971 EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

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	DATE 04-15-2	SCALE AS NOTED					DRAWN RDC	JOB 5590

2A.0 SHEET 5590
590 PARADISO GRANDE
 04-15-2
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Park Square HOMES
 ENTERPRISES, INC.
 5200 Vineland Road, Suite 200
 Orlando, Florida 32811
 Phone: (407) 529 - 3000
 DBE and C
 MICHAEL A. THOMPSON
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 PHONE 407-721-2292
 BY

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 Park Square HOMES
 ENTERPRISES, INC.
 5200 Vineland Road, Suite 200
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Park Square HOMES
 ENTERPRISES, INC.
 5200 Vineland Road, Suite 200
 Orlando, Florida 32811
 Phone: (407) 529 - 3000
 DBE and C
 MICHAEL A. THOMPSON
 PE 475099
 PHONE 407-721-2292
 BY

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 MICHAEL A. THOMPSON
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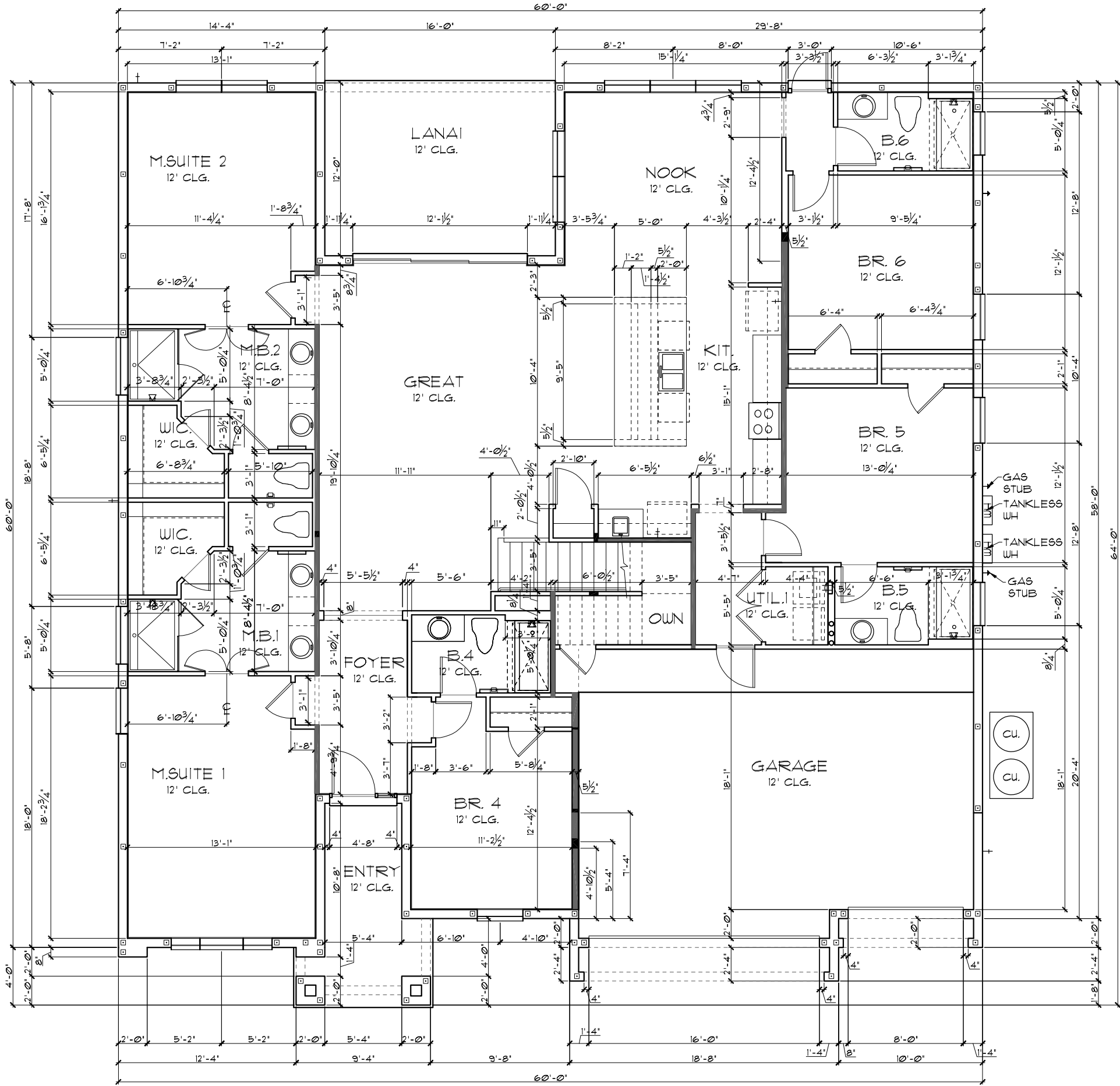
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TABULATION	
UPPER LIVING	2,846 SF.
LOWER LIVING	2,144 SF.
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LANAI	192 SF.
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 - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3½" UNLESS NOTED OTHERWISE.
 - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1½" UNLESS NOTED OTHERWISE.
 - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

FLOOR PLAN W/ DIMENSIONS "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



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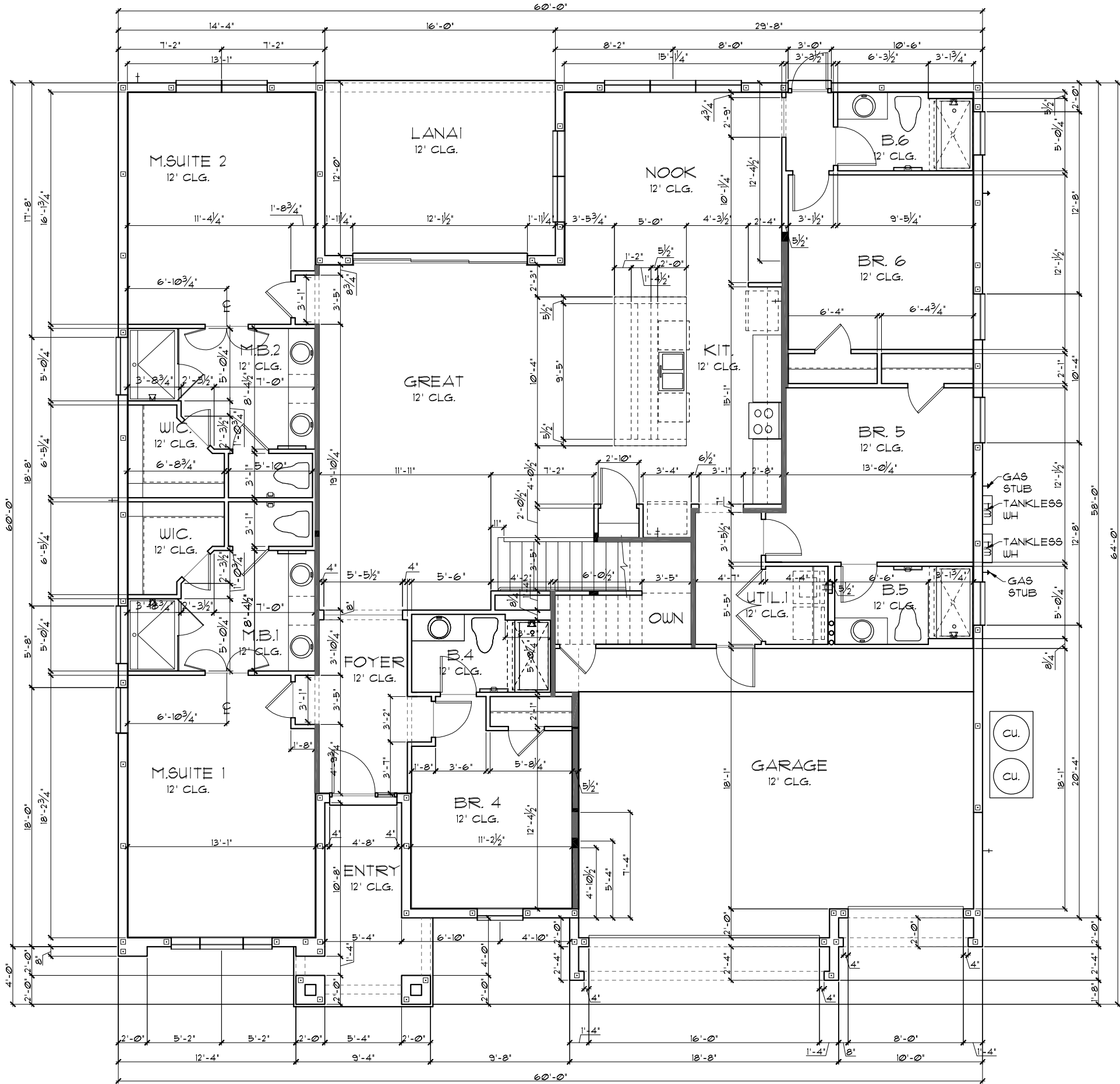
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5590		DATE 04-15-21		SCALE AS NOTED		DRAWN RDC	
02B.0		JOB 5590		SHEET		OF SHEETS	

TABULATION	
UPPER LIVING	2,846 SF.
LOWER LIVING	2,744 SF.
TOTAL LIVING	5,590 SF.
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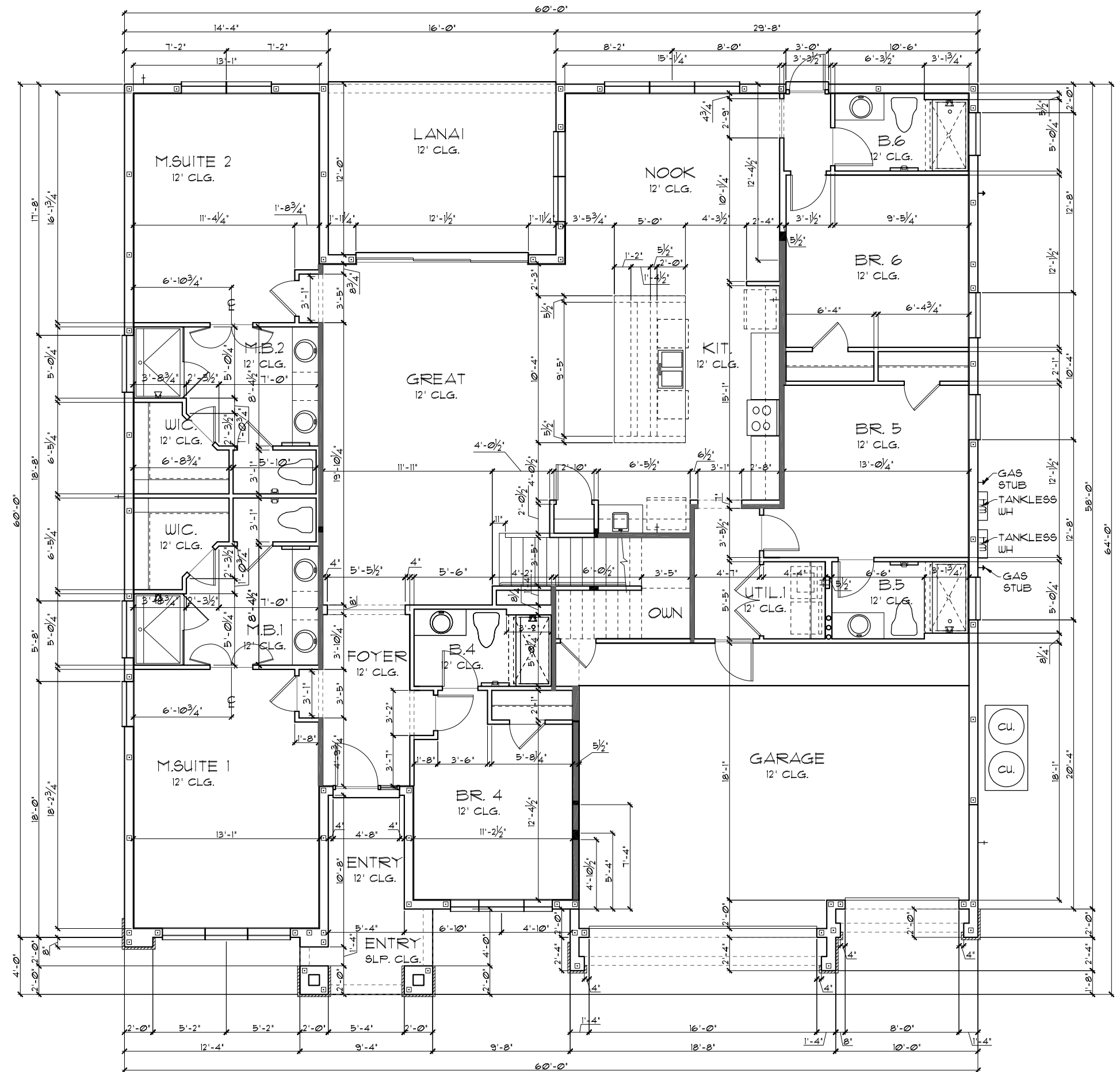
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SHEET 02B.0		SCALE AS NOTED		DRAWN RDC		REVISIONS	
OF SHEETS		JOB 5590		BY			

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FLOOR PLAN W/ DIMENSIONS "C"

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

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5200 Vineland Road, Suite 200
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Engineering By:
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MICHAEL A. THOMPSON
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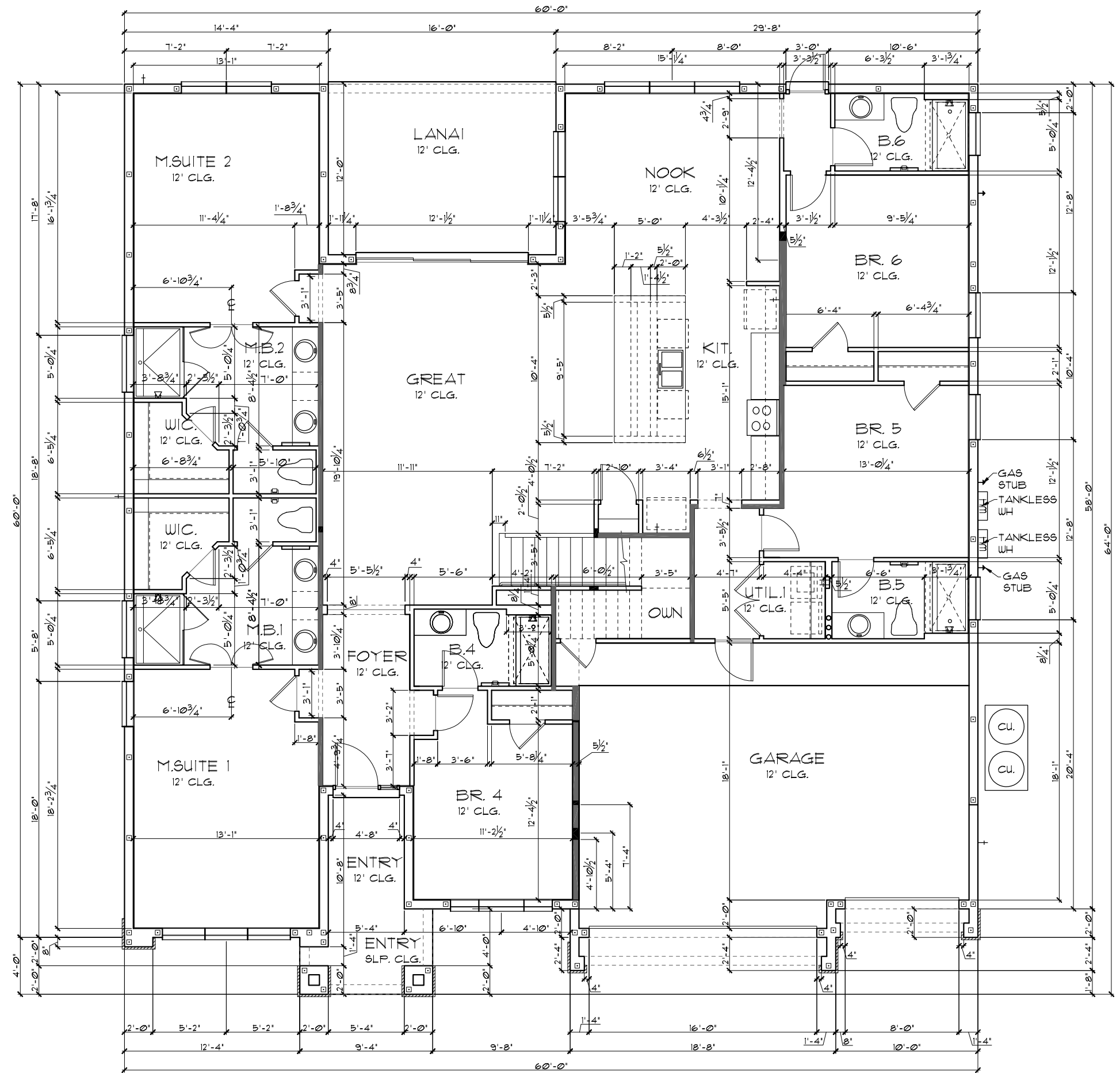
REVISIONS	BY
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FLOOR PLAN W/ DIMENSIONS "C"

$1/8'' = 1' - 0''$ (11X17) $1/4'' = 1' - 0''$ (22X34)

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Park
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ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000

DBE and C
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

VISIONS BY

PER 7TH EDITION, 2020 FLORIDA BUILDING
RESIDENTIAL CODE

FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF

ROOF:	SHEATHING	-----	5 PSF
	STRUCTURE	-----	1 PSF
	CEILINGS	-----	3 PSF
	MECH/ELEC	-----	5 PSF
	TOTAL	-----	20 PSF

RESIDENTIAL FLOOR: ----- 40 PSF
UNINHABITABLE ATTIC
WITHOUT STORAGE: ----- 10 PSF
UNINHABITABLE ATTIC
W/LIMITED STORAGE: ----- 20 PSF

ROOMS OTHER THAN
SLEEPING ROOM: -----40 PSF
SLEEPING ROOM: -----30 PSF
STAIR LIVE LOAD: -----40 PSF
BALCONIES: -----40 PSF
PASSANGER VEHICLE GARAGE: -----50 PSF

MINIMUM ROOF LIVE LOAD (PSF)
 TRIBUTARY LOADED AREA (SQ. FT.)
 FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

PER 7TH EDITION, 2020 FLORIDA BUILDING
RESIDENTIAL CODE

1. BASIC WIND SPEED: -----140 MPH
2. RISK CATEGORY ----- II
3. WIND EXPOSURE: ----- B
4. BUILDING TYPE: ----- V B
5. ENCLOSURE ----- +/- .18, INCLUDED
CLASSIFICATION INTERNAL IN NOTE #6
PRESSURE COEFFICIENT:
6. COMPONENT / CLADDING ----- SEE PLAN
DESIGN WIND PRESSURE:

+ XXX DESIGN WIND PRESSURE IAW FLA
 - XXX RESIDENTIAL CODE, SECTION R30
 NOTE: DESIGN PRESSURES BASED ON
 BASIC WIND SPEED AND NOT ULTIMATE
 WIND SPEED.

1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.

2. VENT DRYER THRU ROOF.
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.

4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.

5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.

6.  DENOTES CONC. BLOCK WALL HGT. @ 12'-0" A.F.F.
-  DENOTES CONC. BLOCK WALL HGT. @ 10'-0" A.F.F.

7. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS

8. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES

9. ANCHOR THE CONDENSER UNIT TO SLAB
PER CODE: M 1307.1 - M1307.2

10. ALL INTER. FIRST FLOOR CEILINGS AT
12'-0" UNLESS NOTED OTHERWISE.
- ALL INTER. SECOND FLOOR CEILINGS AT
9'-0" UNLESS NOTED OTHERWISE.

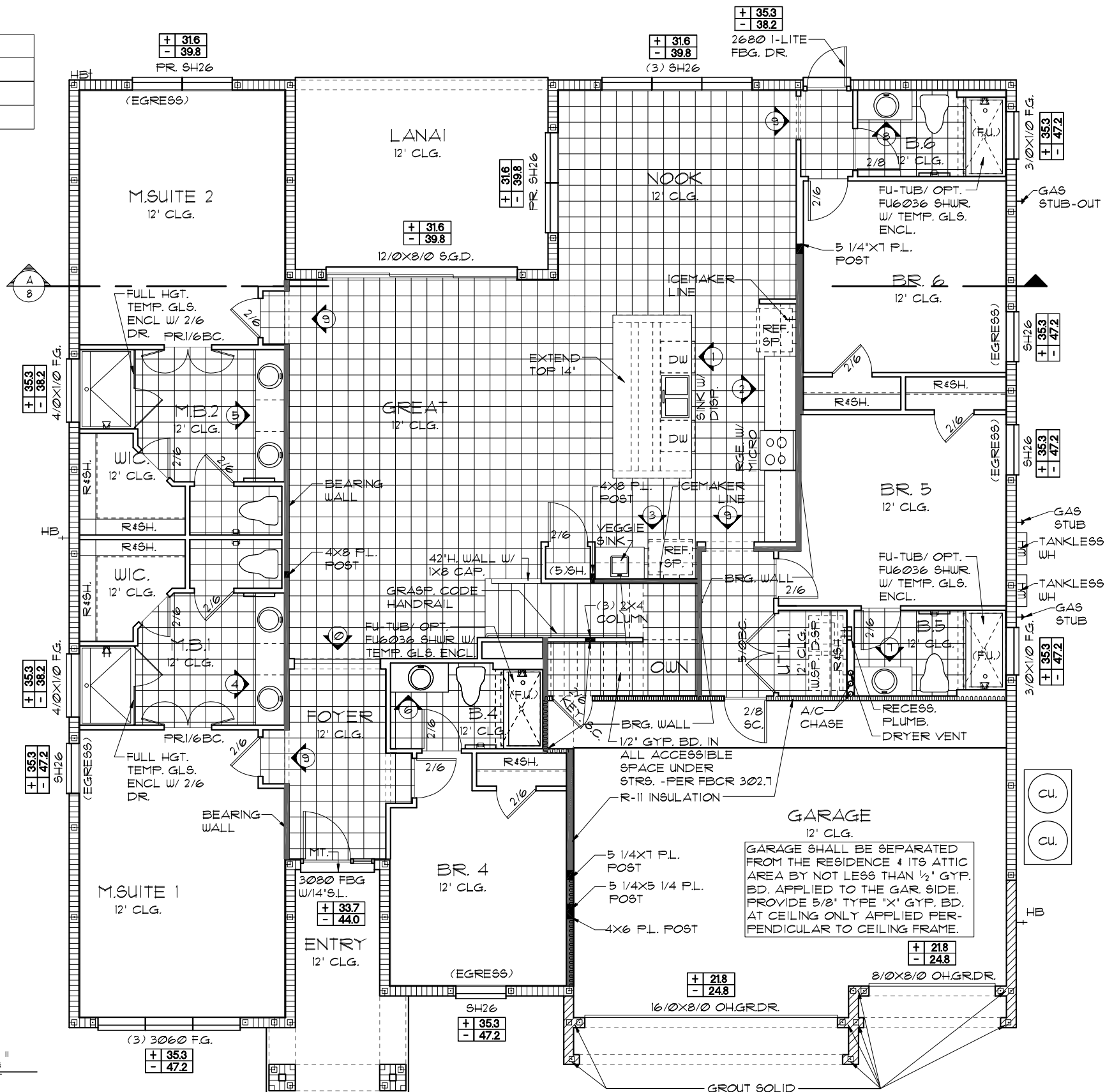
NOTE: 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THEN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED IAW R302.5

GUARDRAILS & HANDRAILS	200 PSF
GUARDRAIL IN - FILL COMPONENTS	50 PSF
STAIRS	40 PSF

NOTE: TEMPERED GLAZING IS REQUIRED AT ALL HAZARDOUS LOCATIONS AS DEFINED IN FBC R308.4

GUARDRAILS & HANDRAILS	200 P#F
GUARDRAIL IN - FILL COMPONENTS	50 P#F
PER FBC R312- R312.12 & R312.13 & R311.7.1	
GUARDRAILS HEIGHT	36" MIN.
HANDRAIL HEIGHT	34" MIN. TO 38" MAX.
GUARDRAIL OPENING LIMITATIONS	4' IN DIAMETER MAX.

NOTE: HANDRAIL CONTINUITY PER R311.7.2.2 -
HANDRAILS FOR STAIRS SHALL BE CONTINUOUS
FOR FULL LENGTH OF THE FLIGHT, FROM A POINT
DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A
POINT DIRECTLY ABOVE THE LAST RISER OF THE
FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL
TERMINATE IN NEUEL POST OR SAFETY TERMINALS.
HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE
OF NO LESS THAN 1 1/2" (38MM) BETWEEN THE WALL AND
THE HANDRAIL.



1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

- ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. A.F.F. - R310.2 - FBCR (2020)
- WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 72" FINISHED GRADE MUST COMPLY WITH FBCR 312.2

SH26	31 1/8" H. X 33 1/4" W.	MIN. NET CLEAR OPENING 7.19 SQFT
SH26	72" H. X 37 3/4" W. RO.	

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 8'-0" U.N.O.

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Engineering By: DBE and C	REVISIONS	E
MICHAEL A. THOMPSON		
PE 47509		
PHONE 407-721-2292		

A DIVISION OF PARK SQUARE
ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000

Park Square HOMES

FLOOR PLAN W/ NOTES

SEACOST

PARADISO GRANDE

5590

DATE 04-15-2

SCALE AS NOTED

DRAWN RDC

JOB 5590

SHEET

03A.0
OF SHEETS

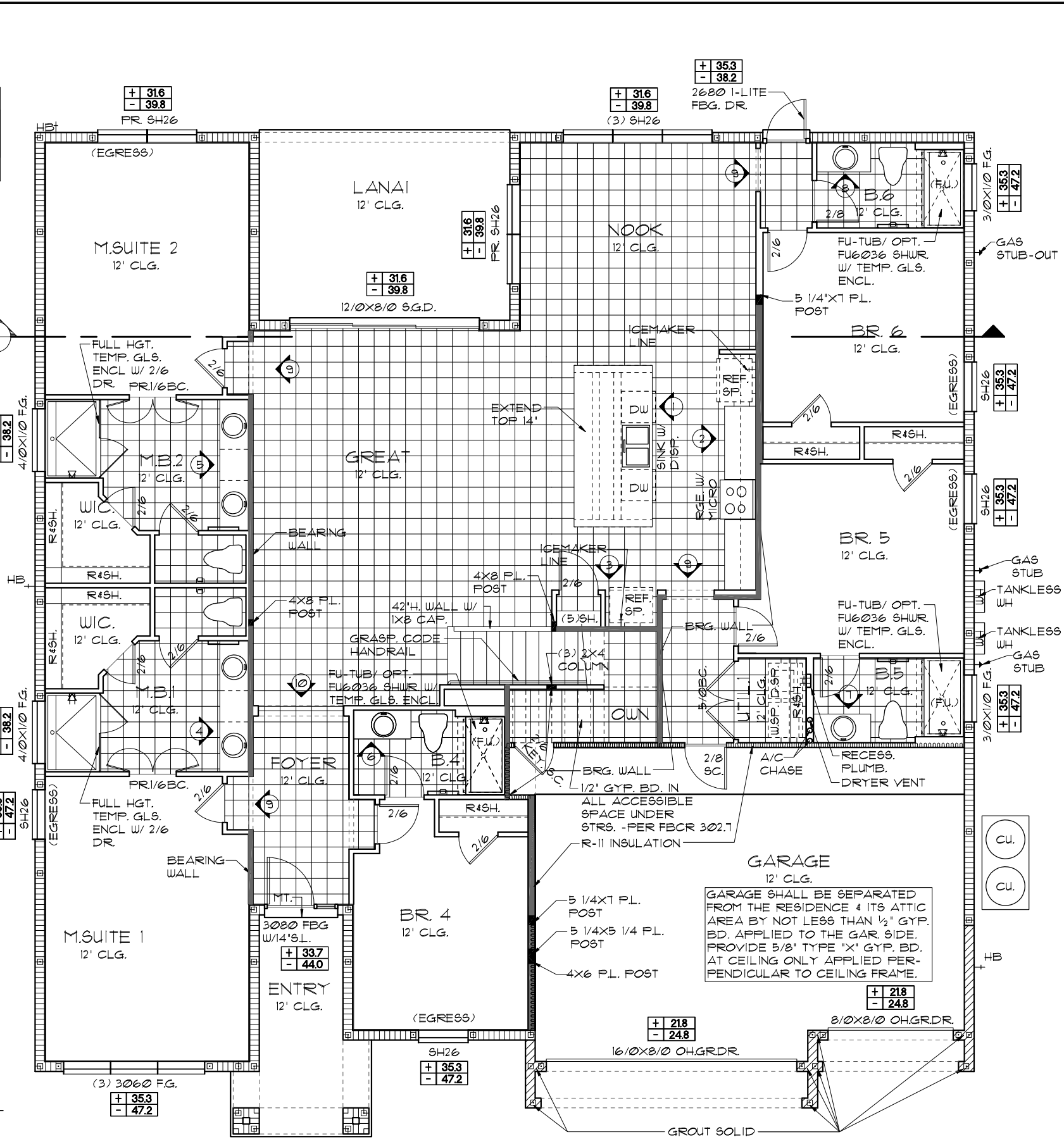
LOAD INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
DEAD LOADS		
FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF
ROOF: SHEATHING	-----	5 PSF
STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
TOTAL	-----	20 PSF
FLOOR LIVE LOADS		
RESIDENTIAL FLOOR:	-----	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	-----	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	-----	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	-----	40 PSF
SLEEPING ROOM:	-----	30 PSF
STAIR LIVE LOAD:	-----	40 PSF
BALCONIES:	-----	40 PSF
PASSANGER VEHICLE GARAGE:	-----	50 PSF
ROOF LIVE LOADS		
MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER		
ROOF SLOPE	0-200	201-600
0:12 < 4:12	20	16
≥ 4:12 < 12:12	16	14
≥ 12:12	12	12

WIND INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
1. BASIC WIND SPEED:	-----	140 MPH
2. RISK CATEGORY	-----	II
3. WIND EXPOSURE:	-----	B
4. BUILDING TYPE:	-----	V B
5. ENCLOSURE	-----	+/- .18, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6
6. COMPONENT / CLADDING	-----	SEE PLAN DESIGN WIND PRESSURE:
+ XXX DESIGN WIND PRESSURE IAW FLA		
- XXX RESIDENTIAL CODE, SECTION R301		
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.		

GENERAL NOTES		
1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.		
2. VENT DRYER THRU ROOF.		
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.		
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.		
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.		
6.  DENOTES CONC. BLOCK WALL HGT. @ 12'-0" A.F.F.		
 DENOTES CONC. BLOCK WALL HGT. @ 10'-0" A.F.F.		
7. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS		
8. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES		
9. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.1 - M1307.2		
10. ALL INTER. FIRST FLOOR CEILINGS AT 12'-0" UNLESS NOTED OTHERWISE.		
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.		

NOTE: 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED IAW R302.5	
PER FBC R301- TABLE R301.5	
GUARDRAILS & HANDRAILS	200 PSF
GUARDRAIL IN - FILL COMPONENTS	50 PSF
STAIRS	40 PSF
NOTE: TEMPERED GLAZING IS REQUIRED AT ALL HAZARDOUS LOCATIONS AS DEFINED IN FBC R308.4	
PER FBC R301- TABLE R301.5	
GUARDRAILS & HANDRAILS	200 PSF
GUARDRAIL IN - FILL COMPONENTS	50 PSF
PER FBC R312- R312.12 & R312.13 & R311.7.2.1	
GUARDRAILS HEIGHT	36" MIN.
HANDRAIL HEIGHT	34" MIN. TO 38" MAX.
GUARDRAIL OPENING LIMITATIONS	4" IN DIAMETER MAX.
NOTE: HANDRAIL CONTINUITY PER R311.7.2.2 - HANDRAILS FOR STAIRS SHALL BE CONTINUOUS FOR FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POST OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1 1/2" (38MM) BETWEEN THE WALL AND THE HANDRAIL.	

FLOOR PLAN W/ NOTES "A"		
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)		
NOTE:		
• ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. A.F.F. - R310.2 - FBCR (2020)		
• WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 12" FINISHED GRADE MUST COMPLY WITH FBCR 312.2		
EGRESS WINDOW SCHEDULE - R310.2.1 - FBCR 2020		
SH26	31 1/8" H. X 33 1/4" W.	MIN. NET CLEAR OPENING 7.19 SQFT
SH26	72" H. X 37 3/4" W. R.O.	



EGRESS WINDOW SCHEDULE - R310.2.1 - FBCR 2020		
SH26	31 1/8" H. X 33 1/4" W.	MIN. NET CLEAR OPENING 7.19 SQFT
SH26	72" H. X 37 3/4" W. R.O.	

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 8'-0" UN.O.

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

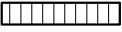
LOT: 0000, WATERSONG

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REVISIONS		BY
Engineering By: DBE and C		
MICHAEL A. THOMPSON		
PE 47509		
PHONE 407-721-2292		
A DIVISION OF PARK SQUARE ENTERPRISES, INC.		
5200 Vineland Road, Suite 200		
Orlando, Florida 32811		
Phone: (407) 529 - 3000		
Park Square HOMES		
FLOOR PLAN W/ NOTES		
SEACOAST	PARADISO GRANDE	
5590		
DATE	04-15-21	
SCALE	AS NOTED	
DRAWN	RDC	
JOB	5590	
SHEET	03A.0	
OF	SHEETS	

LOAD INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
DEAD LOADS		
FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF
ROOF: SHEATHING	-----	5 PSF
STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
TOTAL	-----	20 PSF
FLOOR LIVE LOADS		
RESIDENTIAL FLOOR:	-----	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	-----	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	-----	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	-----	40 PSF
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BALCONIES:	-----	40 PSF
PASSANGER VEHICLE GARAGE:	-----	50 PSF
ROOF LIVE LOADS		
MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER		
ROOF SLOPE	0-200	201-600
0:12 < 4:12	20	16
≥ 4:12 < 12:12	16	14
≥ 12:12	12	12

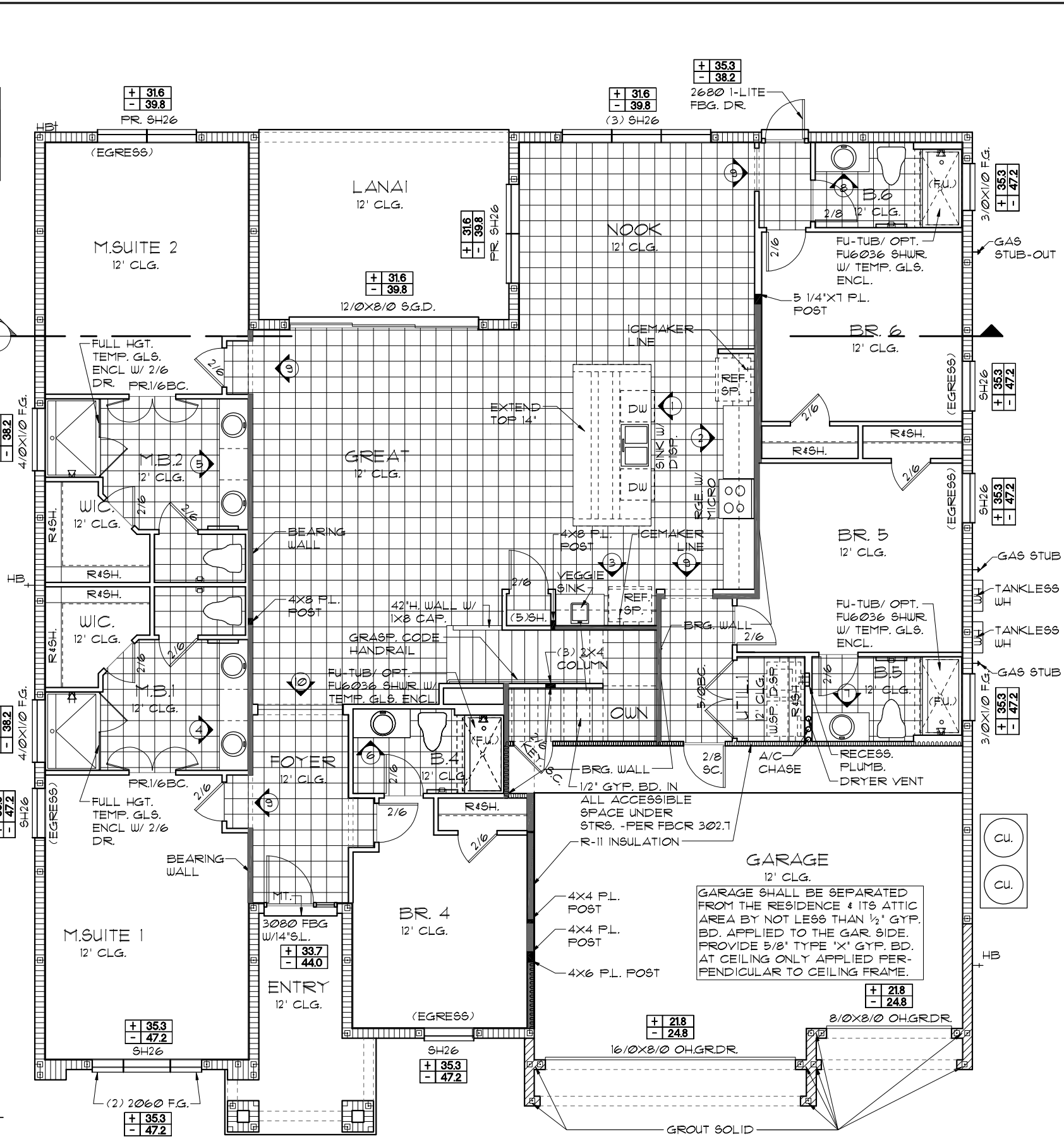
WIND INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
1. BASIC WIND SPEED:	-----	140 MPH
2. RISK CATEGORY	-----	II
3. WIND EXPOSURE:	-----	B
4. BUILDING TYPE:	-----	V B
5. ENCLOSURE	-----	+/- .18, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6
6. COMPONENT / CLADDING	-----	SEE PLAN DESIGN WIND PRESSURE:
+ XXX DESIGN WIND PRESSURE IAW FLA		
- XXX RESIDENTIAL CODE, SECTION R301		
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.		

GENERAL NOTES		
1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.		
2. VENT DRYER THRU ROOF.		
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.		
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.		
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.		
6.  DENOTES CONC. BLOCK WALL HGT. @ 12'-0" A.F.F.		
 DENOTES CONC. BLOCK WALL HGT. @ 10'-0" A.F.F.		
7. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS		
8. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES		
9. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.1 - M1307.2		
10. ALL INTER. FIRST FLOOR CEILINGS AT 12'-0" UNLESS NOTED OTHERWISE.		
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.		

NOTE: 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED IAW R302.5	
PER FBC R301- TABLE R301.5	
GUARDRAILS & HANDRAILS	200 PSF
GUARDRAIL IN - FILL COMPONENTS	50 PSF
STAIRS	40 PSF
NOTE: TEMPERED GLAZING IS REQUIRED AT ALL HAZARDOUS LOCATIONS AS DEFINED IN FBC R308.4	
PER FBC R301- TABLE R301.5	
GUARDRAILS & HANDRAILS	200 PSF
GUARDRAIL IN - FILL COMPONENTS	50 PSF
PER FBC R312- R312.1.2 & R312.1.3 & R311.1.8.1	
GUARDRAILS HEIGHT	36" MIN.
HANDRAIL HEIGHT	34" MIN. TO 38" MAX.
GUARDRAIL OPENING LIMITATIONS	4" IN DIAMETER MAX.
NOTE: HANDRAIL CONTINUITY PER R311.1.8.2 - HANDRAILS FOR STAIRS SHALL BE CONTINUOUS FOR FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POST OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1 1/2" (38MM) BETWEEN THE WALL AND THE HANDRAIL.	

FLOOR PLAN W/ NOTES "B"		
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)		

NOTE:	
• ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. A.F.F. - R310.2 - FBCR (2020)	
• WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 12" FINISHED GRADE MUST COMPLY WITH FBCR 312.2	



EGRESS WINDOW SCHEDULE - R310.2.1 - FBCR2020		
SH26	31 1/8" H. X 33 1/4" W.	MIN. NET CLEAR OPENING 7.19 SQFT
SH26	72" H. X 37 3/4" W. R.O.	

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 8'-0" UN.O.

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: 0000, WATERSONG

SEACOAST PARADISO GRANDE

5590

DATE 04-15-21

SCALE AS NOTED

DRAWN RDC

JOB 5590

SHEET 03B.0

OF SHEETS

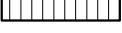
Engineering By DBE and C MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292

A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida 32811 Phone: (407) 529 - 3000

FLOOR PLAN W/ NOTES

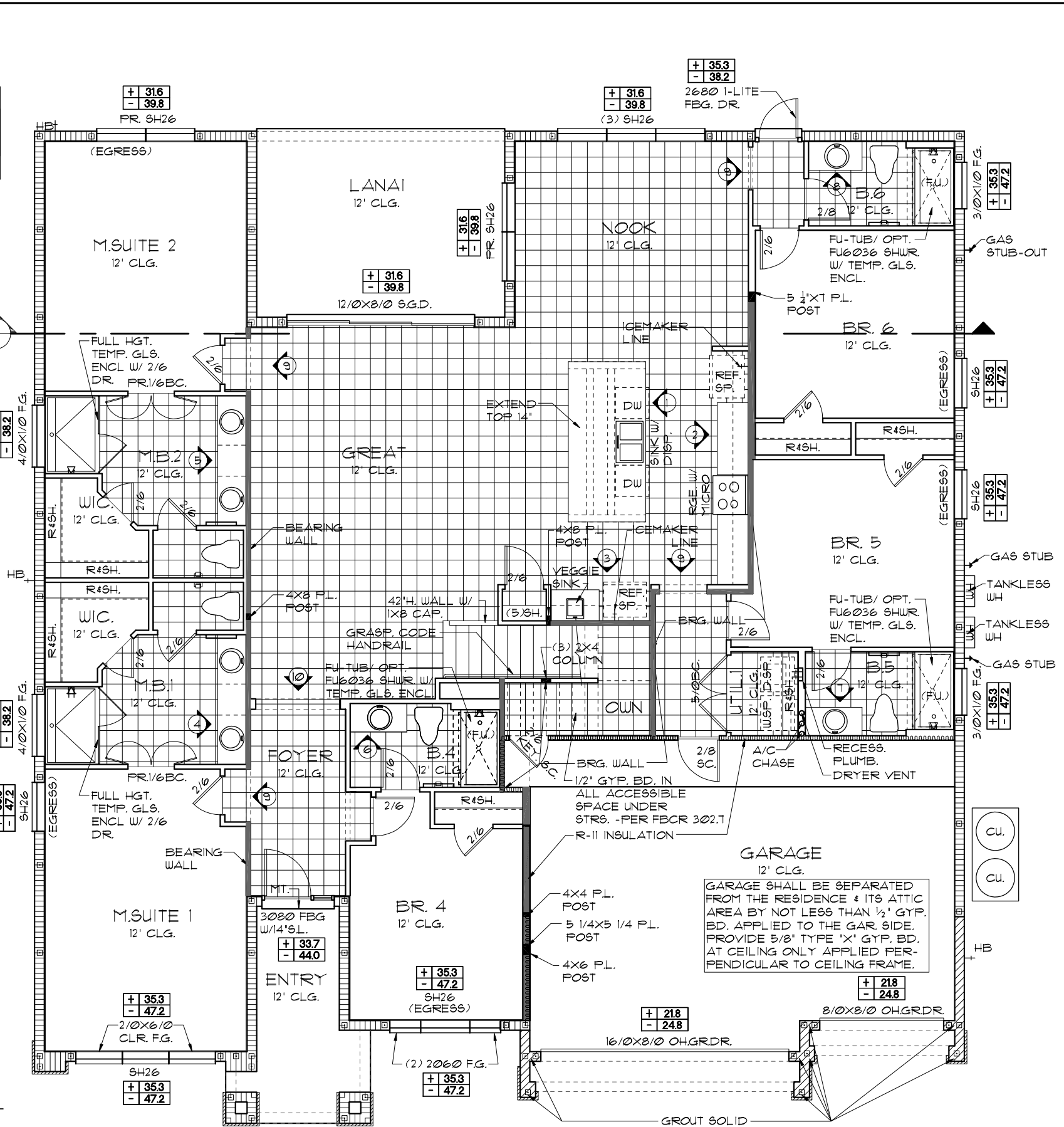
LOAD INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
DEAD LOADS		
FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF
ROOF: SHEATHING	-----	5 PSF
STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
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FLOOR LIVE LOADS		
RESIDENTIAL FLOOR:	-----	40 PSF
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ROOMS OTHER THAN SLEEPING ROOM:	-----	40 PSF
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ROOF LIVE LOADS		
MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER		
ROOF SLOPE	0-200	201-600
0:12 < 4:12	20	16
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WIND INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
1. BASIC WIND SPEED:	-----	140 MPH
2. RISK CATEGORY	-----	II
3. WIND EXPOSURE:	-----	B
4. BUILDING TYPE:	-----	V B
5. ENCLOSURE	-----	+/- .18, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6
6. COMPONENT / CLADDING	-----	SEE PLAN DESIGN WIND PRESSURE:
+ XXX DESIGN WIND PRESSURE IAW FLA		
- XXX RESIDENTIAL CODE, SECTION R301		
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.		

GENERAL NOTES		
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4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.		
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.		
6.  DENOTES CONC. BLOCK WALL HGT. @ 12'-0" AFF.		
 DENOTES CONC. BLOCK WALL HGT. @ 10'-0" AFF.		
7. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS		
8. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES		
9. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.1 - M1307.2		
10. ALL INTER. FIRST FLOOR CEILINGS AT 12'-0" UNLESS NOTED OTHERWISE.		
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.		

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PER FBC R301- TABLE R301.5	
GUARDRAILS & HANDRAILS	200 PSF
GUARDRAIL IN - FILL COMPONENTS	50 PSF
STAIRS	40 PSF
NOTE: TEMPERED GLAZING IS REQUIRED AT ALL HAZARDOUS LOCATIONS AS DEFINED IN FBC R308.4	
PER FBC R301- TABLE R301.5	
GUARDRAILS & HANDRAILS	200 PSF
GUARDRAIL IN - FILL COMPONENTS	50 PSF
PER FBC R312- R312.1.2 & R312.1.3 & R311.1.8.1	
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FLOOR PLAN W/ NOTES "C"		
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)		
NOTE:		
• ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. AFF. - R310.2 - FBCR (2020)		
• WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 12" FINISHED GRADE MUST COMPLY WITH FBCR 312.2		
EGRESS WINDOW SCHEDULE - R310.2.1 - FBCR2020		
SH26	31 1/8" H. X 33 1/4" W.	MIN. NET CLEAR OPENING 7.19 SQFT
SH26	72" H. X 37 3/4" W. R.O.	



EGRESS WINDOW SCHEDULE - R310.2.1 - FBCR2020		
SH26	31 1/8" H. X 33 1/4" W.	MIN. NET CLEAR OPENING 7.19 SQFT
SH26	72" H. X 37 3/4" W. R.O.	

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 8'-0" UN.O.

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: 0000, WATERSONG

SEACOAST PARADISO GRANDE

5590

DATE 04-15-21

SCALE AS NOTED

DRAWN RDC

JOB 5590

SHEET 03C.0

OF SHEETS

Engineering By
DBE and C
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

A DIVISION OF PARK SQUARE
ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
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FLOOR PLAN W/ NOTES

SEACOAST
PARADISO GRANDE

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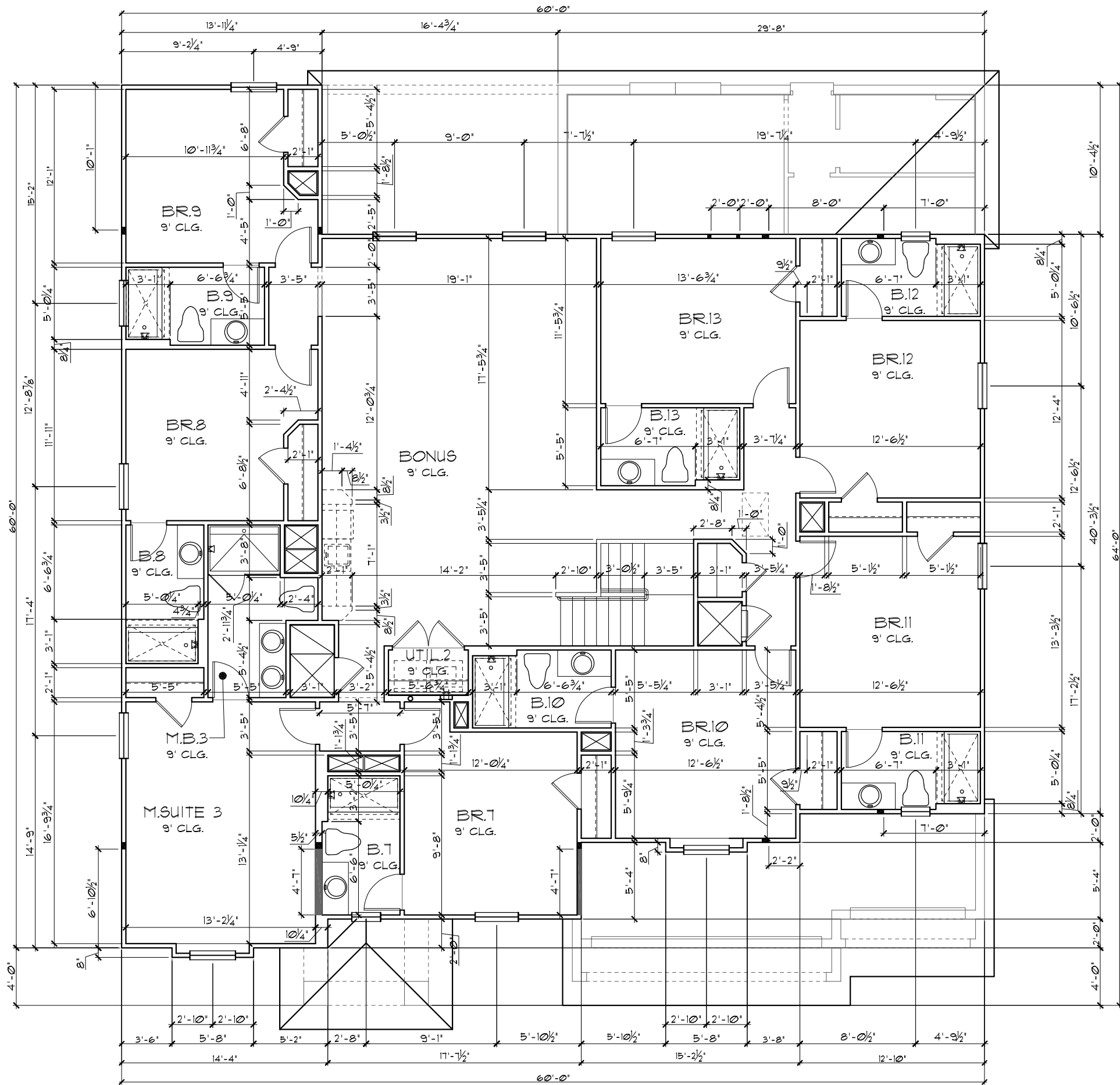
- GENERAL NOTES
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
 2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" UNLESS NOTED OTHERWISE.
 4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2" UNLESS NOTED OTHERWISE.
 5. ALL INTERIOR CEILINGS AT **9'-0"** UNLESS NOTED OTHERWISE.
 6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

WET BAR OPT.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

UPPER FLOOR PLAN W/ DIMENSIONS "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 11th EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

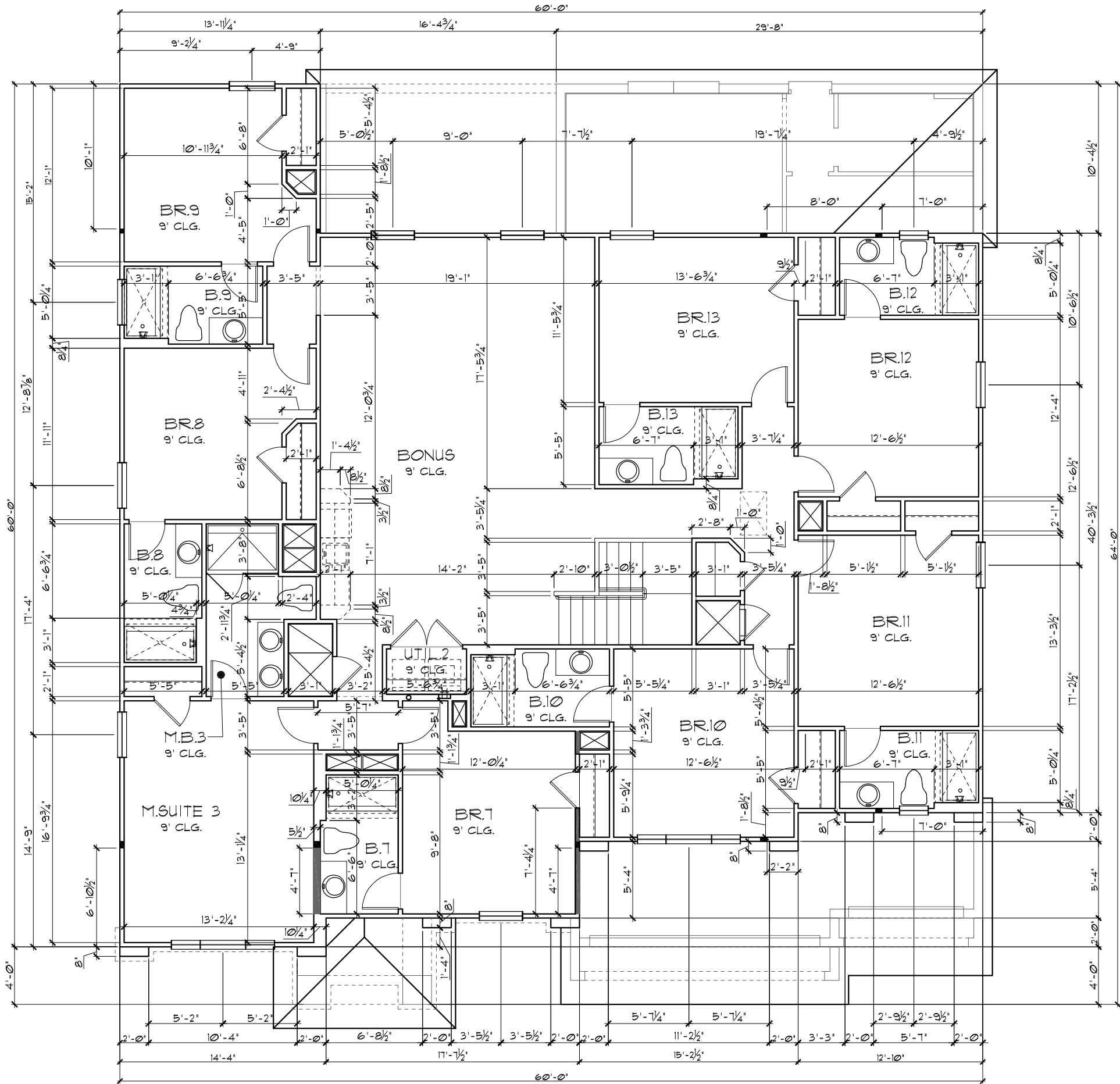
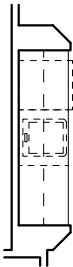
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Phone: (407) 529 - 3000		
UPPER FLOOR PLAN W/		
DIMENSIONS		
SEACOAST		
PARADISO GRANDE		
5590		
DATE	04-15-21	
SCALE	AS NOTED	
DRAWN	RDC	
JOB	5590	
SHEET	04A.0	
OF	SHEETS	

- GENERAL NOTES
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 6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

WET BAR OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



UPPER FLOOR PLAN W/ DIMENSIONS "B"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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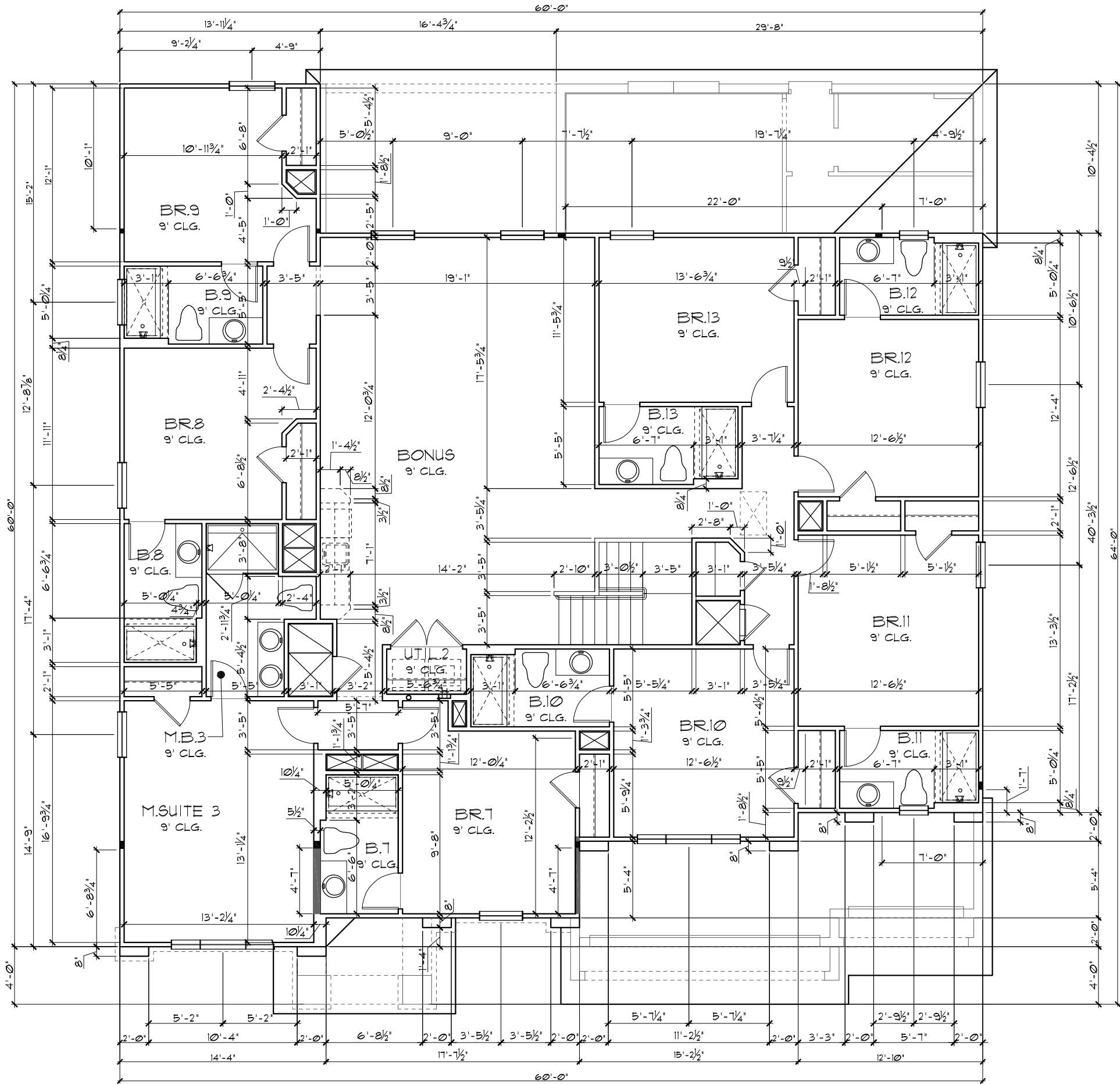
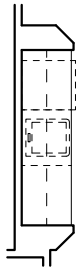
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UPPER FLOOR PLAN W/ DIMENSIONS		
SEACOAST PARADISO GRANDE		
5590		
DATE	04-15-21	
SCALE	AS NOTED	
DRAWN	RDC	
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- GENERAL NOTES
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
 2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" UNLESS NOTED OTHERWISE.
 4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2" UNLESS NOTED OTHERWISE.
 5. ALL INTERIOR CEILINGS AT **9'-0"** UNLESS NOTED OTHERWISE.
 6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

WET BAR OPT.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



UPPER FLOOR PLAN W/ DIMENSIONS "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

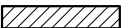
LOT: 0000, WATERSONG

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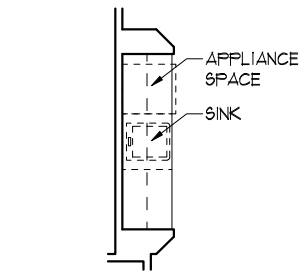
REVISIONS		BY
Engineering By: DBE and C MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292		
A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida 32811 Phone: (407) 529 - 3000		
UPPER FLOOR PLAN W/ DIMENSIONS		
SEACOAST	PARADISO GRANDE	
5590		
DATE	04-15-21	
SCALE	AS NOTED	
DRAWN	RDC	
JOB	5590	
SHEET	04C.0	
OF	9 SHEETS	

LOAD INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
DEAD LOADS		
FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF
ROOF: SHEATHING	-----	5 PSF
STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
TOTAL	-----	20 PSF
FLOOR LIVE LOADS		
RESIDENTIAL FLOOR:	-----	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	-----	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	-----	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	-----	40 PSF
SLEEPING ROOM:	-----	30 PSF
STAIR LIVE LOAD:	-----	40 PSF
BALCONIES:	-----	40 PSF
PASSANGER VEHICLE GARAGE:	-----	50 PSF
ROOF LIVE LOADS		
MINIMUM ROOF LIVE LOAD (PSF)		
TRIBUTARY LOADED AREA (SQ. FT.)		
FOR ANY STRUCTURAL MEMBER		
ROOF SLOPE	0-200	201-600
0:12 < 4:12	20	16
≥ 4:12 < 12:12	16	14
≥ 12:12	12	12

WIND INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
1. BASIC WIND SPEED:	-----	140 MPH
2. RISK CATEGORY	-----	II
3. WIND EXPOSURE:	-----	B
4. BUILDING TYPE:	-----	V B
5. ENCLOSURE CLASSIFICATION	--- +/- .18, INCLUDED	INTERNAL PRESSURE IN NOTE #6
6. COMPONENT / CLADDING	-----	SEE PLAN DESIGN WIND PRESSURE:
+ XXX DESIGN WIND PRESSURE IAW FLA		
- XXX RESIDENTIAL CODE, SECTION R301		
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.		

GENERAL NOTES		
1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.		
2. VENT DRYER THRU ROOF.		
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.		
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.		
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.		
6.  DENOTES CONC. BLOCK WALL HGT. @ N/A		
 DENOTES CONC. BLOCK WALL HGT. @ N/A		
7. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS		
8. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES		
9. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M 1307.1 - M1307.2		
10. ALL INTER. FIRST FLOOR CEILINGS AT 12'-0" UNLESS NOTED OTHERWISE.		
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.		

NOTE: 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THEN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED IAW R302.5		
PER FBC R301- TABLE R301.5		
GUARDRAILS & HANDRAILS		200 PSF
GUARDRAIL IN - FILL COMPONENTS		50 PSF
STAIRS		40 PSF
NOTE: TEMPERED GLAZING IS REQUIRED AT ALL HAZARDOUS LOCATIONS AS DEFINED IN FBC R308.4		
PER FBC R301- TABLE R301.5		
GUARDRAILS & HANDRAILS		200 PSF
GUARDRAIL IN - FILL COMPONENTS		50 PSF
PER FBC R312- R312.12 & R312.13 & R311.1.1		
GUARDRAILS HEIGHT		36" MIN.
HANDRAIL HEIGHT		34" MIN. TO 38" MAX.
GUARDRAIL OPENING LIMITATIONS		4" IN DIAMETER MAX.
NOTE: HANDRAIL CONTINUITY PER R311.1.2.2- HANDRAILS FOR STAIRS SHALL BE CONTINUOUS FOR FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POST OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1 (1/2)X38" MIN. BETWEEN THE WALL AND THE HANDRAIL.		



WET BAR OPT.

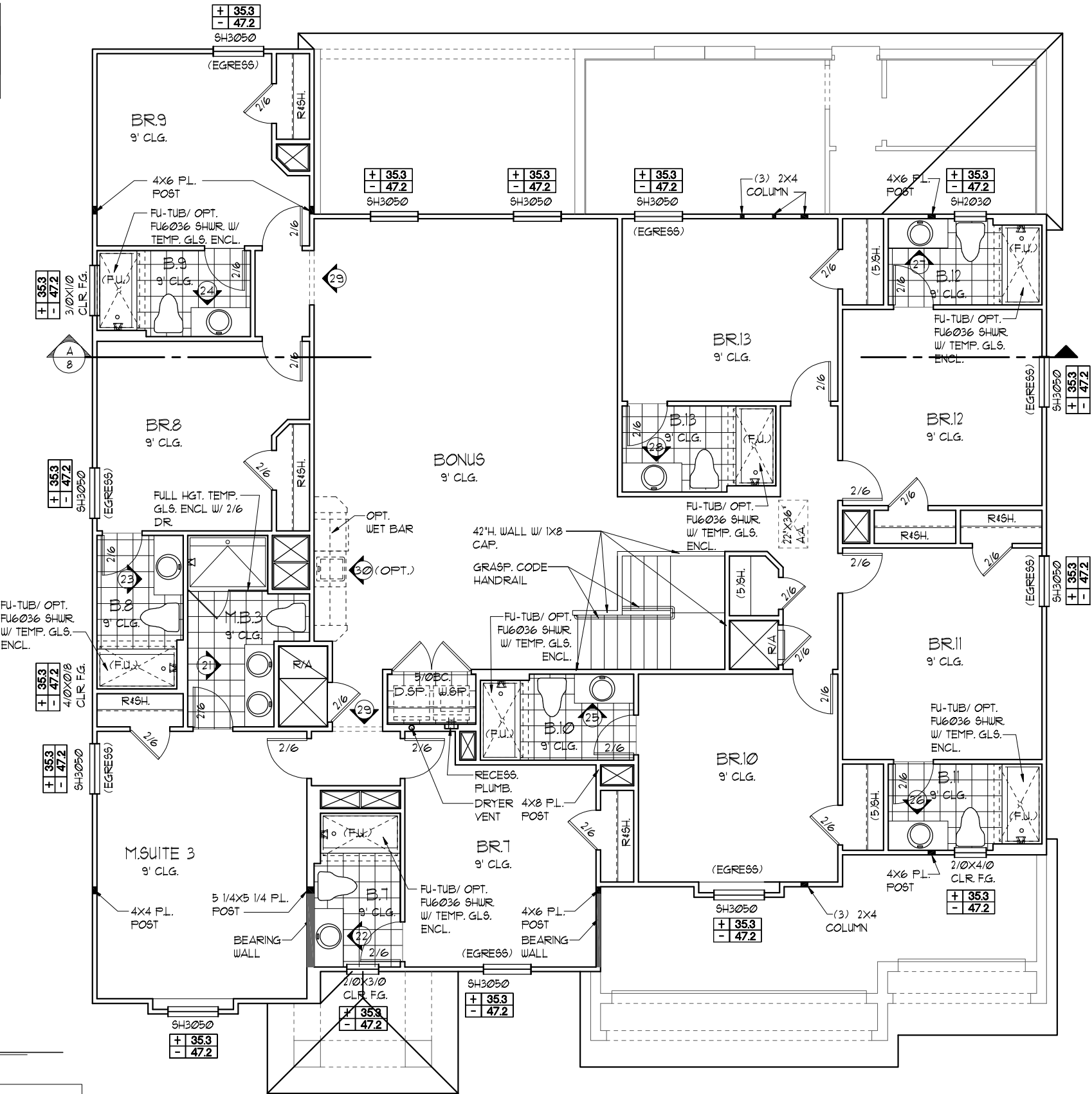
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

UPPER FLOOR PLAN NOTES "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE:

- ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. AFF.- R310.2 - FBCR (2020)
- WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 12" FINISHED GRADE MUST COMPLY WITH FBCR 312.2



EGRESS WINDOW SCHEDULE - R310.2.1- FBCR2020

SH3050	33 1/2' H. X 30' W.	MIN. NET CLEAR OPENING 5.1 SQFT
SH3050	60 1/8' H. X 35 3/4' W. R.O.	

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6'-8" U.N.O. - VERIFY WITH COLOR SHEET.

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: 0000, WATERSONG

SEACOAST PARADISO GRANDE 5590 DATE 04-15-21 SCALE AS NOTED DRAWN RDC JOB 5590 SHEET 05A.0 OF SHEETS

Engineering By
DBE and C
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000

Park Square HOMES

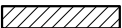
FLOOR PLAN W/ NOTES

REVISIONS

REVISIONS	BY

LOAD INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
DEAD LOADS		
FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF
ROOF: SHEATHING	-----	5 PSF
STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
TOTAL	-----	20 PSF
FLOOR LIVE LOADS		
RESIDENTIAL FLOOR:	-----	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	-----	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	-----	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	-----	40 PSF
SLEEPING ROOM:	-----	30 PSF
STAIR LIVE LOAD:	-----	40 PSF
BALCONIES:	-----	40 PSF
PASSANGER VEHICLE GARAGE:	-----	50 PSF
ROOF LIVE LOADS		
MINIMUM ROOF LIVE LOAD (PSF)		
TRIBUTARY LOADED AREA (SQ. FT.)		
FOR ANY STRUCTURAL MEMBER		
ROOF SLOPE	0-200	201-600
0:12 < 4:12	20	16
≥ 4:12 < 12:12	16	14
≥ 12:12	12	12

WIND INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
1. BASIC WIND SPEED:	-----	140 MPH
2. RISK CATEGORY	-----	II
3. WIND EXPOSURE:	-----	B
4. BUILDING TYPE:	-----	V B
5. ENCLOSURE CLASSIFICATION	--- +/- .18, INCLUDED	INTERNAL PRESSURE
6. COMPONENT / CLADDING	-----	SEE PLAN DESIGN WIND PRESSURE:
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.		

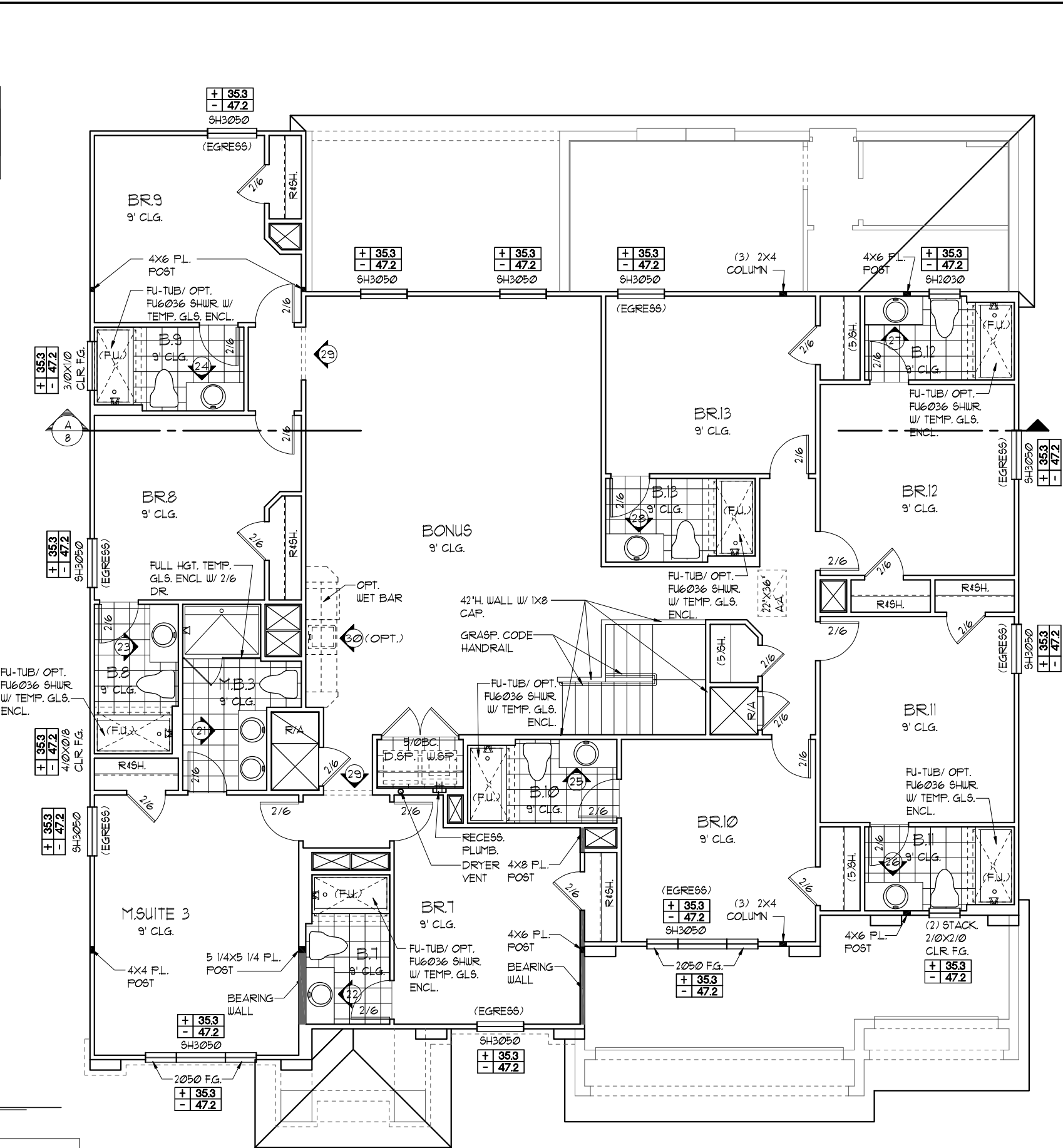
GENERAL NOTES		
1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.		
2. VENT DRYER THRU ROOF.		
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.		
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.		
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.		
6.  DENOTES CONC. BLOCK WALL HGT. @ N/A		
 DENOTES CONC. BLOCK WALL HGT. @ N/A		
7. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS		
8. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES		
9. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M 1307.1 - M1307.2		
10. ALL INTER. FIRST FLOOR CEILINGS AT 12'-0" UNLESS NOTED OTHERWISE.		
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.		

NOTE: 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THEN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED IAW R302.5		
PER FBC R301- TABLE R301.5		
GUARDRAILS & HANDRAILS		200 PSF
GUARDRAIL IN - FILL COMPONENTS		50 PSF
STAIRS		40 PSF
NOTE: TEMPERED GLAZING IS REQUIRED AT ALL HAZARDOUS LOCATIONS AS DEFINED IN FBC R308.4		
PER FBC R301- TABLE R301.5		
GUARDRAILS & HANDRAILS		200 PSF
GUARDRAIL IN - FILL COMPONENTS		50 PSF
PER FBC R312- R312.12 & R312.13 & R311.1.1		
GUARDRAILS HEIGHT		36" MIN.
HANDRAIL HEIGHT		34" MIN. TO 38" MAX.
GUARDRAIL OPENING LIMITATIONS		4" IN DIAMETER MAX.
NOTE: HANDRAIL CONTINUITY PER R311.1.2.2 - HANDRAILS FOR STAIRS SHALL BE CONTINUOUS FOR FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POST OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1 (1/2)X38" MIN. BETWEEN THE WALL AND THE HANDRAIL.		

WET BAR OPT.		
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)		
APPLIANCE SPACE		
SINK		

UPPER FLOOR PLAN NOTES "B"		
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)		
NOTE:		
ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. AFF.-		
R310.2 - FBCR (2020)		
WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 12" FINISHED GRADE MUST COMPLY WITH FBCR 312.2		

EGRESS WINDOW SCHEDULE - R310.2.1- FBCR2020		
5H3050	33 1/2' H. X 30' W.	MIN. NET CLEAR OPENING 5.1 SQFT
5H3050	60 1/8' H. X 35 3/4' W. R.O.	



NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6'-8" UNO. - VERIFY WITH COLOR SHEET.

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: 0000, WATERSONG

SEACOAST PARADISO GRANDE

5590

DATE 04-15-21

SCALE AS NOTED

DRAWN RDC

JOB 5590

SHEET 05B.0

OF SHEETS

Engineering By DBE and C MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292

A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida 32811 Phone: (407) 529 - 3000

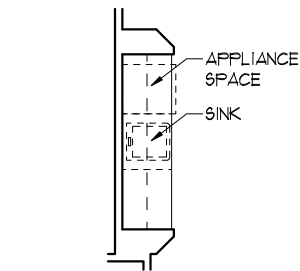
FLOOR PLAN W/ NOTES

LOAD INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
DEAD LOADS		
FLOOR: STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
PARTITIONS	-----	5 PSF
TOTAL	-----	20 PSF
ROOF: SHEATHING	-----	5 PSF
STRUCTURE	-----	1 PSF
CEILINGS	-----	3 PSF
MECH/ELEC	-----	5 PSF
TOTAL	-----	20 PSF
FLOOR LIVE LOADS		
RESIDENTIAL FLOOR:	-----	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	-----	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	-----	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	-----	40 PSF
SLEEPING ROOM:	-----	30 PSF
STAIR LIVE LOAD:	-----	40 PSF
BALCONIES:	-----	40 PSF
PASSANGER VEHICLE GARAGE:	-----	50 PSF
ROOF LIVE LOADS		
MINIMUM ROOF LIVE LOAD (PSF)		
TRIBUTARY LOADED AREA (SQ. FT.)		
FOR ANY STRUCTURAL MEMBER		
ROOF SLOPE	0-200	201-600
0:12 < 4:12	20	16
≥ 4:12 < 12:12	16	14
≥ 12:12	12	12

WIND INFORMATION		
PER 1TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE		
1. BASIC WIND SPEED:	-----	140 MPH
2. RISK CATEGORY	-----	II
3. WIND EXPOSURE:	-----	B
4. BUILDING TYPE:	-----	V B
5. ENCLOSURE CLASSIFICATION	--- +/- .18, INCLUDED	
INTERNAL PRESSURE	IN NOTE #6	
COEFFICIENT:		
6. COMPONENT / CLADDING	-----	SEE PLAN DESIGN WIND PRESSURE:
+ XXX	DESIGN WIND PRESSURE IAW FLA	
- XXX	RESIDENTIAL CODE, SECTION R301	
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.		

GENERAL NOTES		
1. PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.		
2. VENT DRYER THRU ROOF.		
3. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.		
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.		
5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.		
6.  DENOTES CONC. BLOCK WALL HGT. @ N/A		
 DENOTES CONC. BLOCK WALL HGT. @ N/A		
7. REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS		
8. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES		
9. ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.1 - M1307.2		
10. ALL INTER. FIRST FLOOR CEILINGS AT 12'-0" UNLESS NOTED OTHERWISE.		
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.		

NOTE: 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED IAW R302.5		
PER FBC R301- TABLE R301.5		
GUARDRAILS & HANDRAILS		200 PSF
GUARDRAIL IN - FILL COMPONENTS		50 PSF
STAIRS		40 PSF
NOTE: TEMPERED GLAZING IS REQUIRED AT ALL HAZARDOUS LOCATIONS AS DEFINED IN FBC R308.4		
PER FBC R301- TABLE R301.5		
GUARDRAILS & HANDRAILS		200 PSF
GUARDRAIL IN - FILL COMPONENTS		50 PSF
PER FBC R312- R312.12 & R312.13 & R311.1.1		
GUARDRAILS HEIGHT		36" MIN.
HANDRAIL HEIGHT		34" MIN. TO 38" MAX.
GUARDRAIL OPENING LIMITATIONS		4" IN DIAMETER MAX.
NOTE: HANDRAIL CONTINUITY PER R311.1.2.2 - HANDRAILS FOR STAIRS SHALL BE CONTINUOUS FOR FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POST OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1 (1/2)X38" MIN. BETWEEN THE WALL AND THE HANDRAIL.		



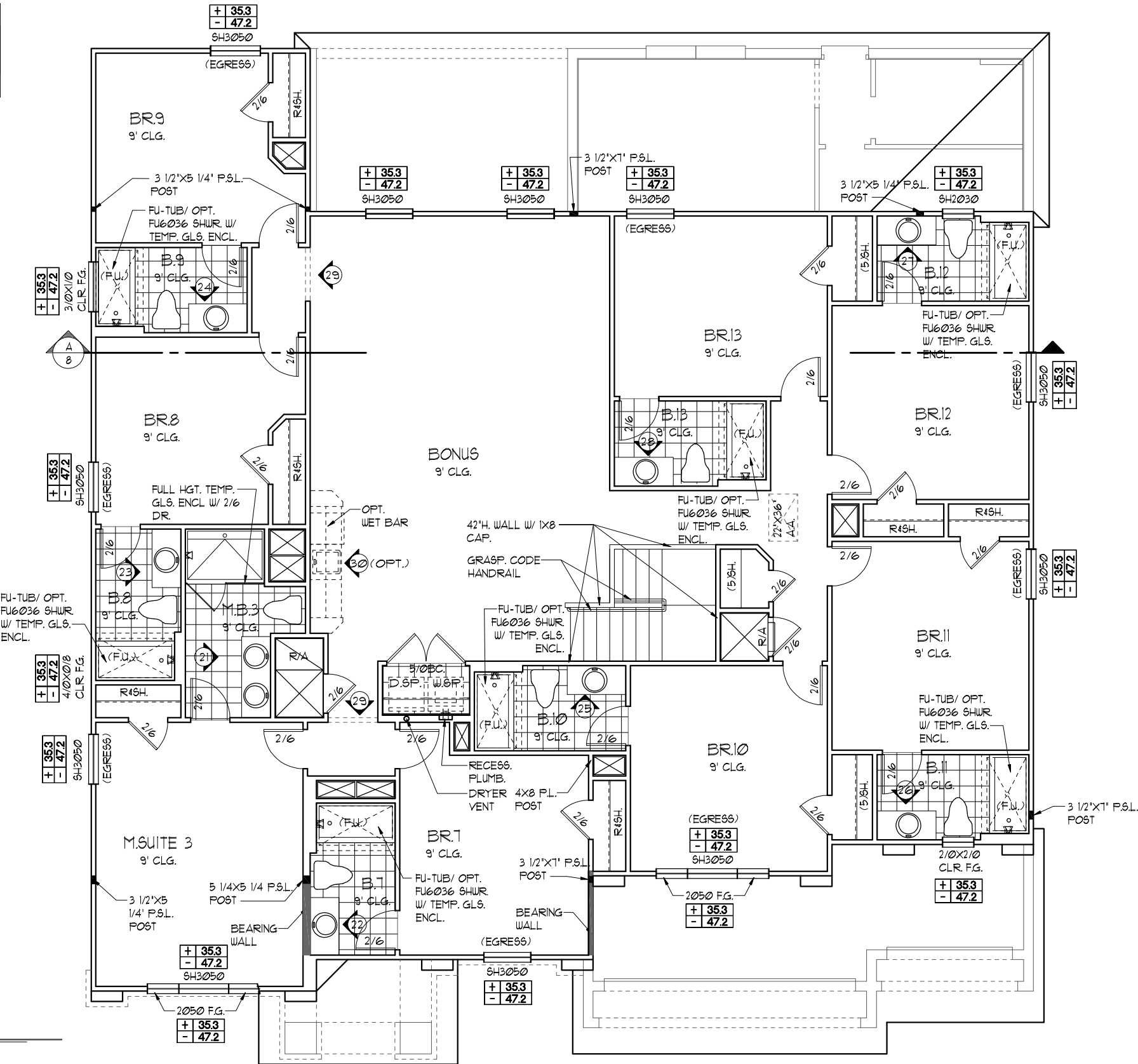
WET BAR OPT.

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

UPPER FLOOR PLAN NOTES "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE:		
•	ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. AFF.-	R310.2 - FBCR (2020)
•	WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 12" FINISHED GRADE MUST COMPLY WITH FBCR 312.2	



EGRESS WINDOW SCHEDULE - R310.2.1- FBCR2020

SH3050	33 1/2" H. X 30" W.	MIN. NET CLEAR OPENING 5.1 SQFT
SH3050	60 1/8" H. X 35 3/4" W. R.O.	

NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: 6'-8" UNO. - VERIFY WITH COLOR SHEET.

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

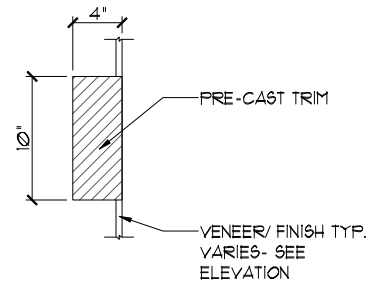
LOT: 0000, WATERSONG

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REVISIONS		BY
Engineering By: DBE and C		
MICHAEL A. THOMPSON		
PE 47509		
PHONE 407-721-2292		
A DIVISION OF PARK SQUARE ENTERPRISES, INC.		
5200 Vineland Road, Suite 200		
Orlando, Florida 32811		
Phone: (407) 529 - 3000		
FLOOR PLAN W/ NOTES		
SEACOAST		
PARADISO GRANDE		
5590		
DATE	04-15-21	
SCALE	AS NOTED	
DRAWN	RDC	
JOB	5590	
SHEET	05C.0	
OF	SHEETS	

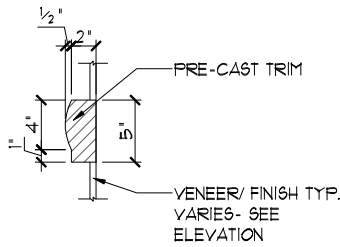
DETAIL

3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



DETAIL

3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.6.1 OF THE 1TH EDITION, FBCR. 2020
2. PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.6.2 OF THE 1TH EDITION, FBCR. 2020
3. WEEP SCREED TO BE INSTALLED IAW R103.6.2.1 OF THE 1TH EDITION, FBCR. 2020
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.6.3 OF THE 1TH EDITION, FBCR. 2020
5. 'ZIP SYSTEMS' WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS.



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: 0000, WATERSONG

SEACOAST PARADISO GRANDE

REVISIONS	BY
Engineering By: DBE and C	
Michael A. Thompson	
PE 47509	
PHONE 407-721-2292	
A DIVISION OF PARK SQUARE ENTERPRISES, INC.	
5200 Vineland Road, Suite 200	
Orlando, Florida 32811	
Phone: (407) 529 - 3000	
DATE	04-15-21
SCALE	AS NOTED
DRAWN	RDC
JOB	5590
SHEET	06A.0
OF	SHEETS

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.6.1 OF THE 11TH EDITION, FBCR, 2020
2. PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.6.2 OF THE 11TH EDITION, FBCR, 2020
3. WEEP SCREED TO BE INSTALLED IAW R103.6.2.1 OF THE 11TH EDITION, FBCR, 2020
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.6.3 OF THE 11TH EDITION, FBCR, 2020
5. 'ZIP SYSTEMS' WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS.



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 11th EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

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REVISIONS		BY
Engineering By:		DBE and C
MICHAEL A. THOMPSON		PE 47509
PHONE 407-721-2292		
A DIVISION OF PARK SQUARE ENTERPRISES, INC.		
5200 Vineland Road, Suite 200		
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Park Square HOMES		
EXTERIOR ELEVATION FRONT AND REAR		
SEACOAST		
PARADISO GRANDE		
5590		
DATE	04-15-21	
SCALE	AS NOTED	
DRAWN	RDC	
JOB	5590	
SHEET	06B.0	
OF	SHEETS	

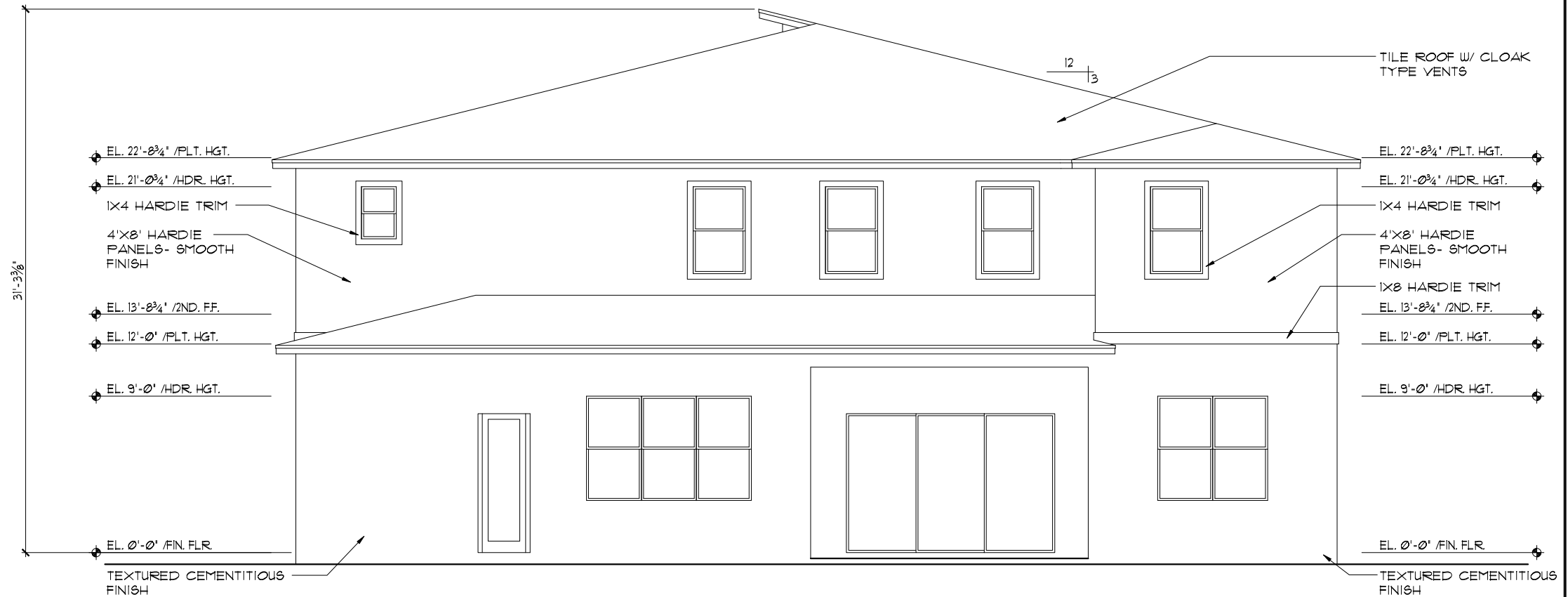
EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.6.1 OF THE 11TH EDITION, FBCR. 2020
2. PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.6.2 OF THE 11TH EDITION, FBCR. 2020
3. WEEP SCREED TO BE INSTALLED IAW R103.6.2.1 OF THE 11TH EDITION, FBCR. 2020
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.6.3 OF THE 11TH EDITION, FBCR. 2020
5. 'ZIP SYSTEMS' WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS.



FRONT ELEVATION "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



REAR ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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SEACOAST
PARADISO GRANDE

5590

DATE 04-15-21

SCALE AS NOTED

DRAWN RDC

JOB 5590

SHEET

06C.0
OF SHEETS

REVISIONS BY

Engineering By:
DBE and C
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

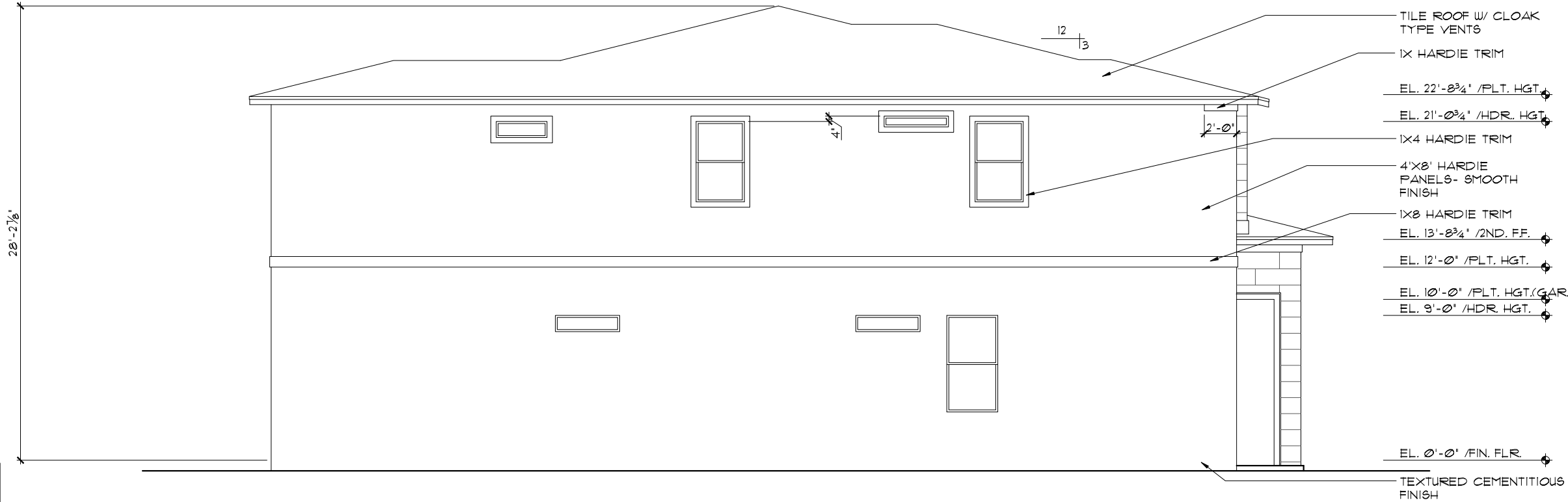
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Orlando, Florida 32811
Phone: (407) 529 - 3000

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HOMES

EXTERIOR ELEVATION
FRONT AND REAR

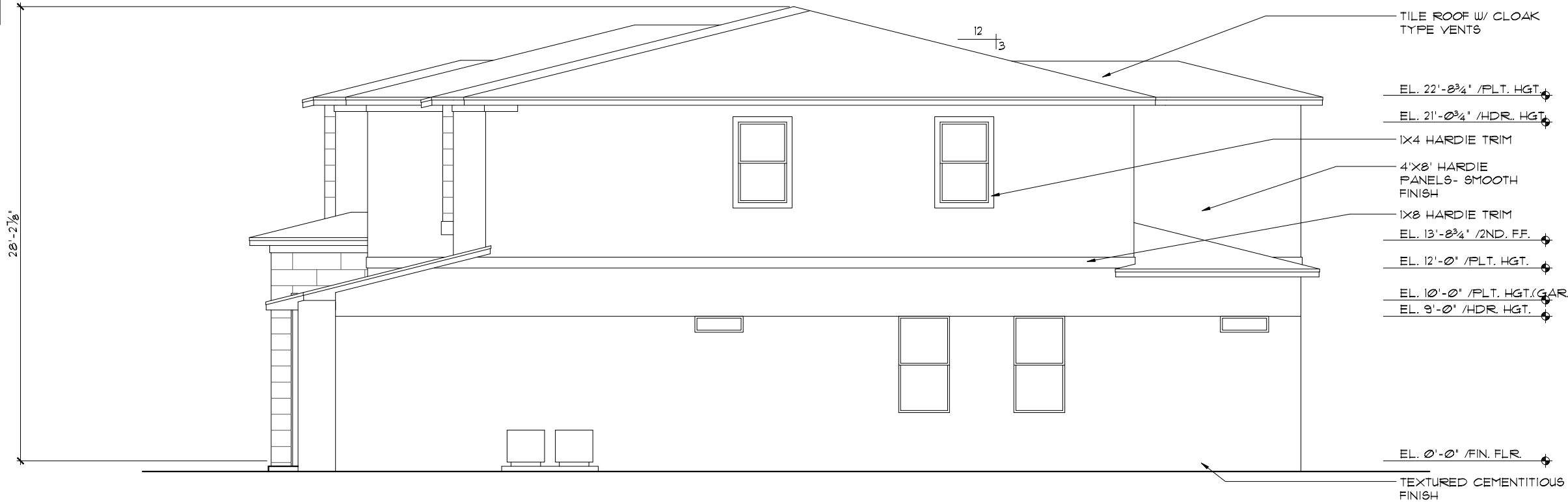
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LEFT ELEVATION "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



RIGHT ELEVATION "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

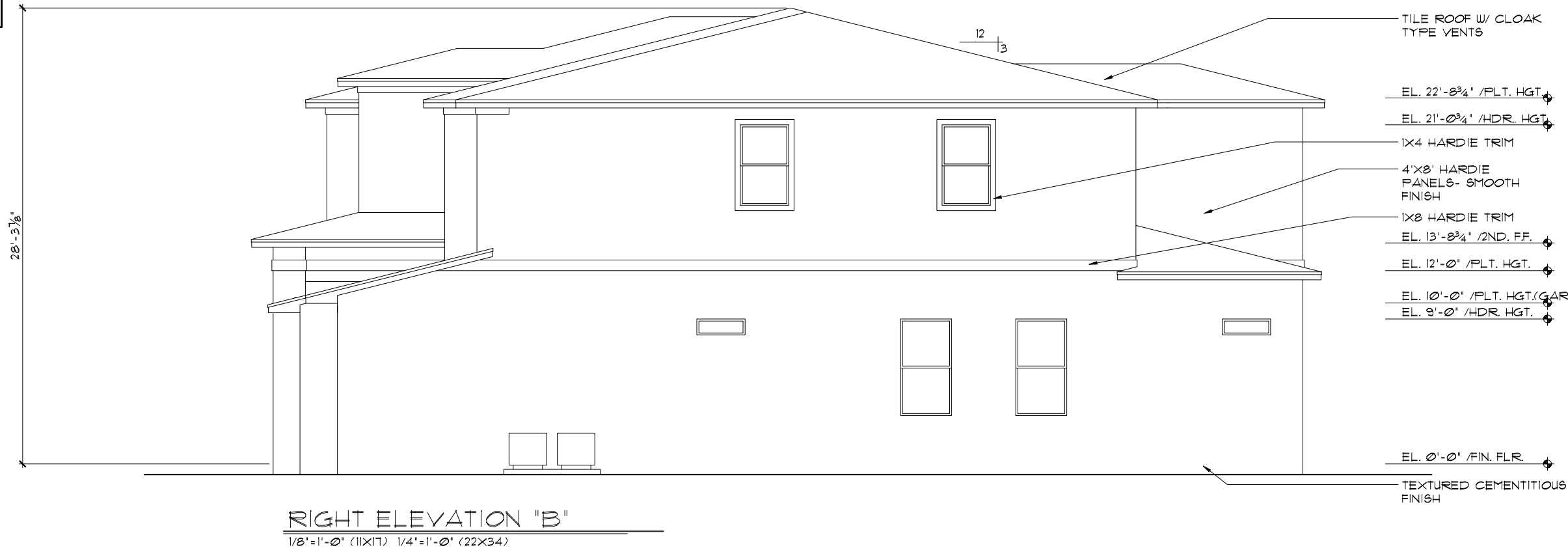
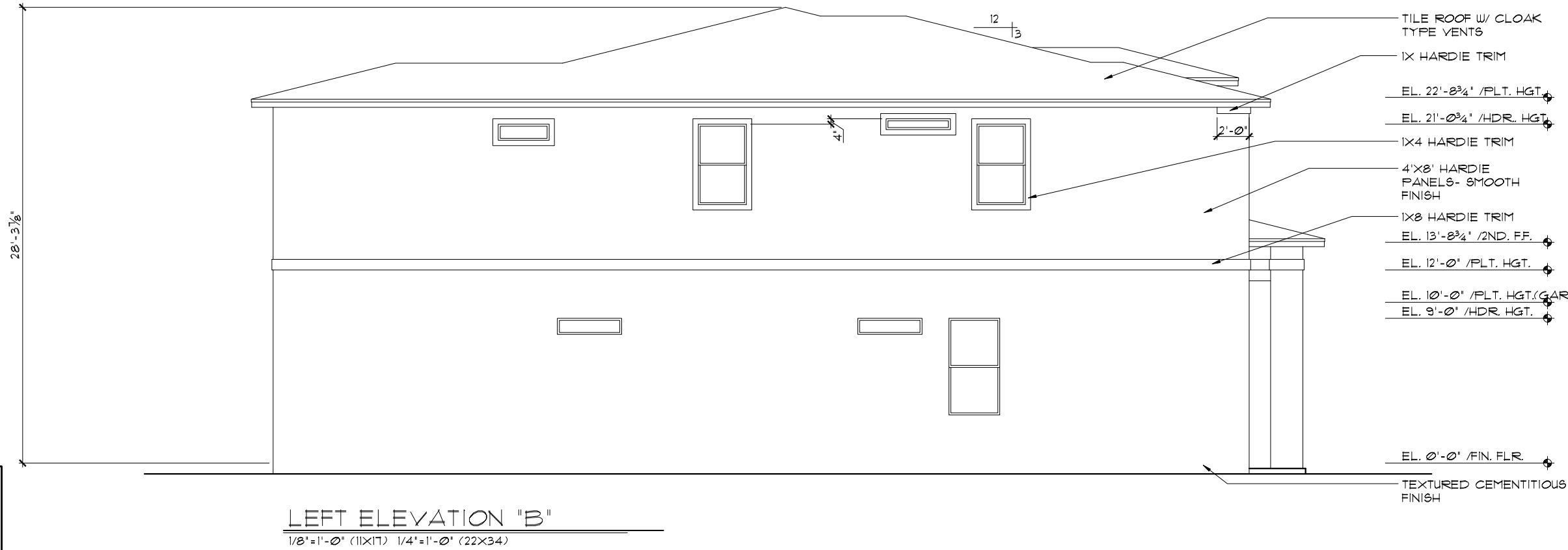
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SEACOAST		PARADISO GRANDE
5590		
DATE	04-15-21	
SCALE	AS NOTED	
DRAWN	RDC	
JOB	5590	
SHEET	07A.0	
OF	SHEETS	

- EXTERIOR FINISH NOTES
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SEACOAST

PARADISO GRANDE

5590

DATE 04-15-21

SCALE AS NOTED

DRAWN RDC

JOB 5590

SHEET 07B.0

OF SHEETS

REVISIONS

BY

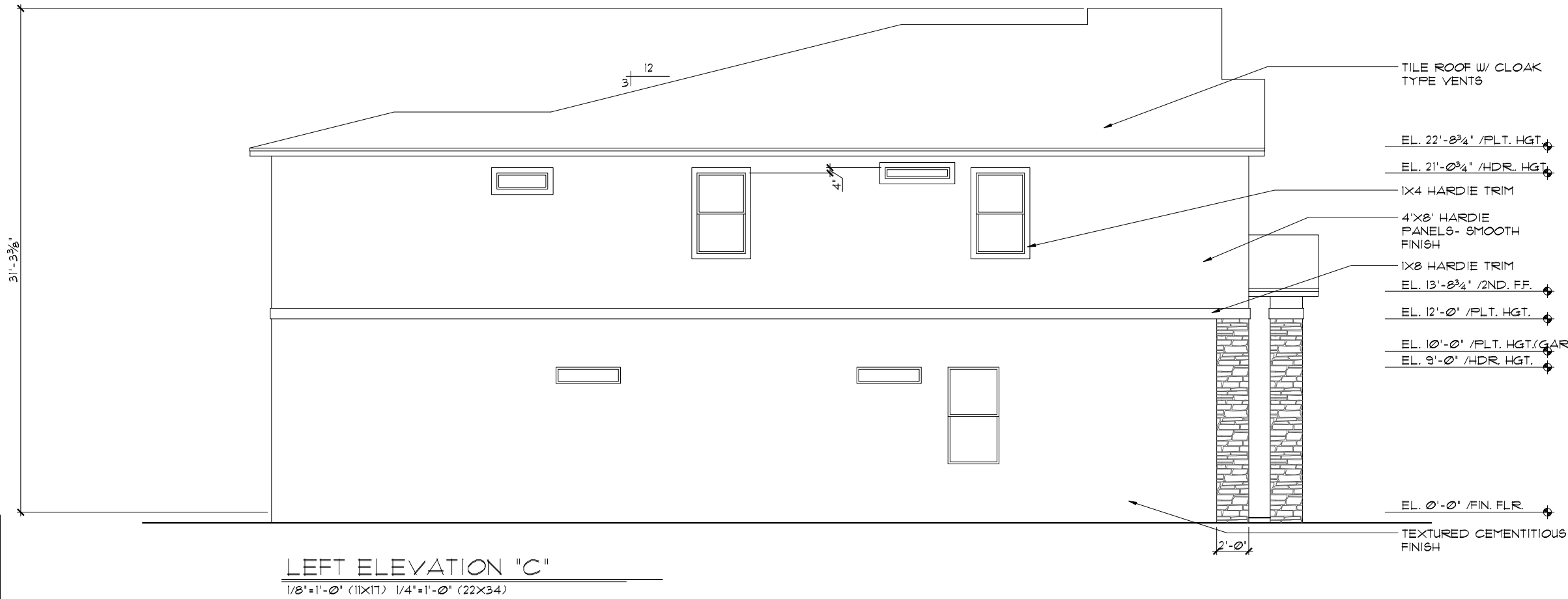
Engineering By:
DBE and C
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

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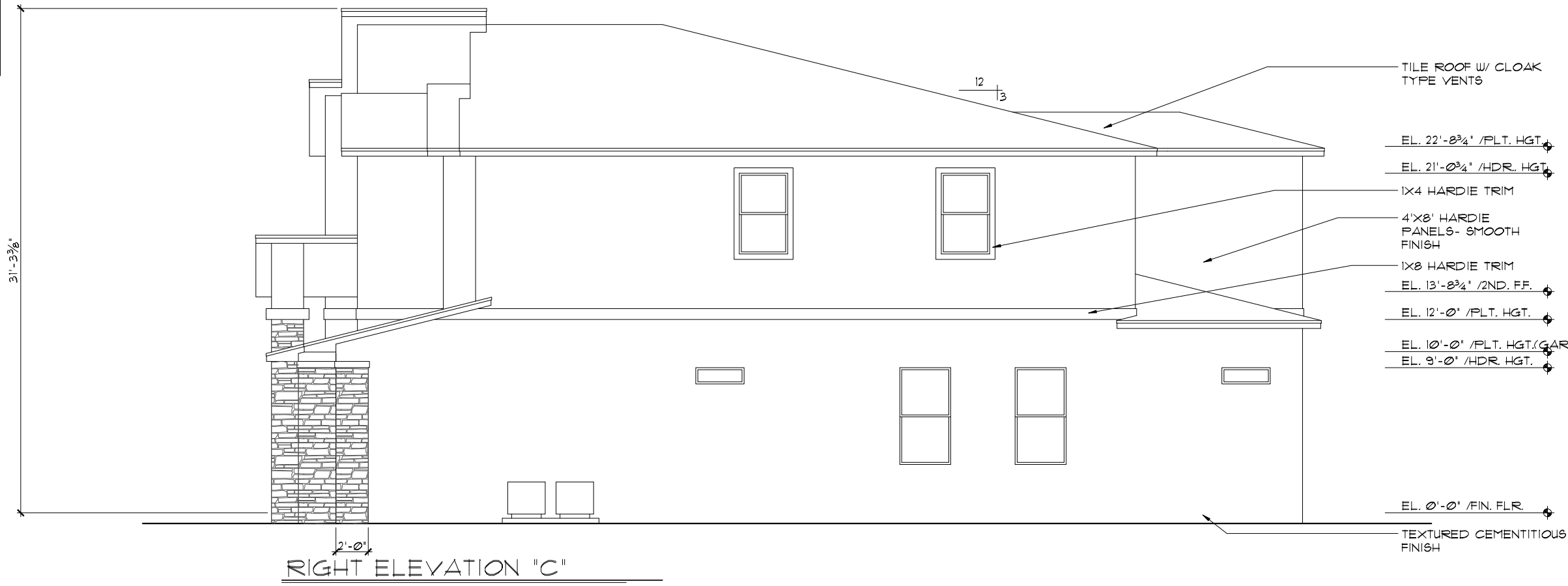
**EXTERIOR ELEVATIONS
LEFT AND RIGHT**

- EXTERIOR FINISH NOTES**
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LEFT ELEVATION "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



RIGHT ELEVATION "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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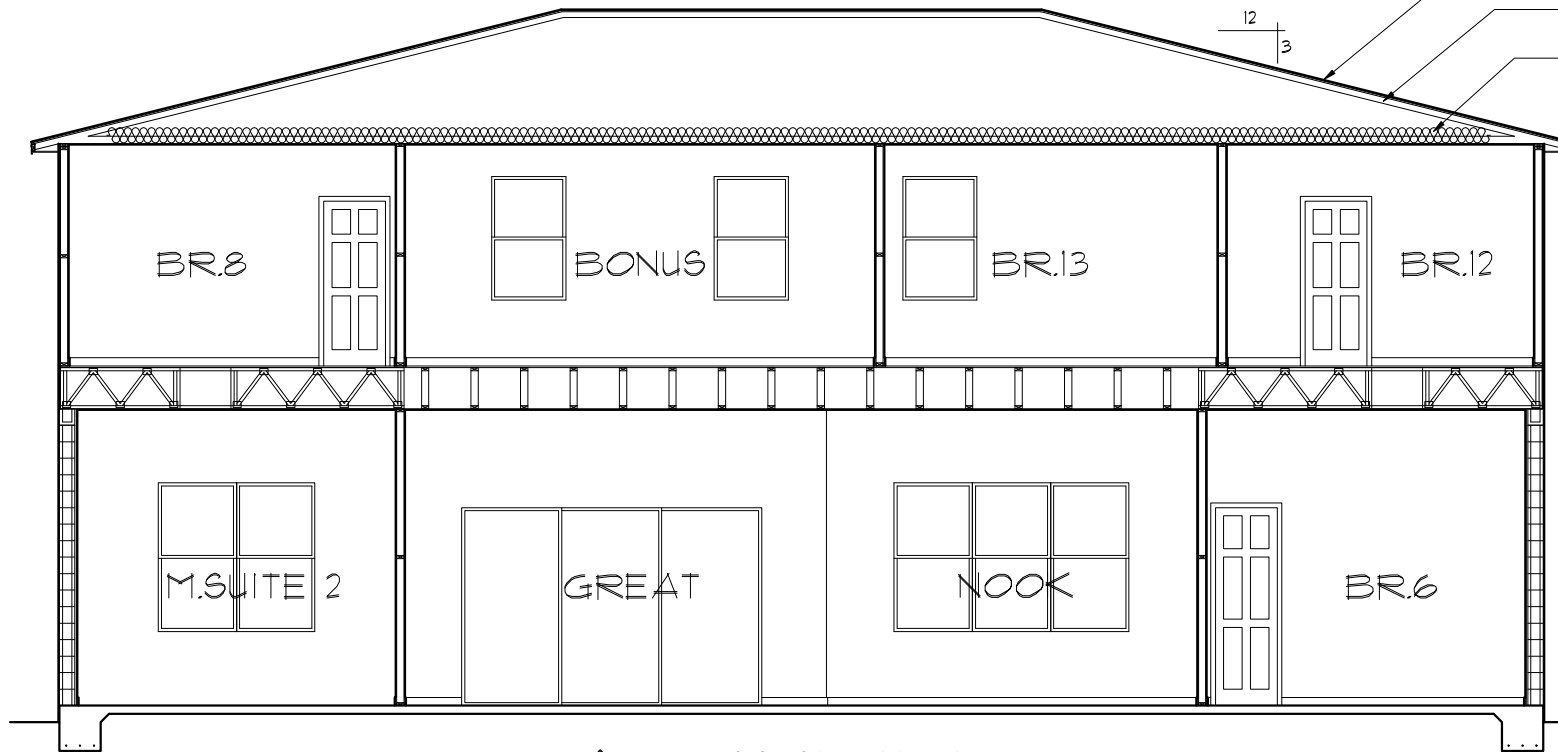
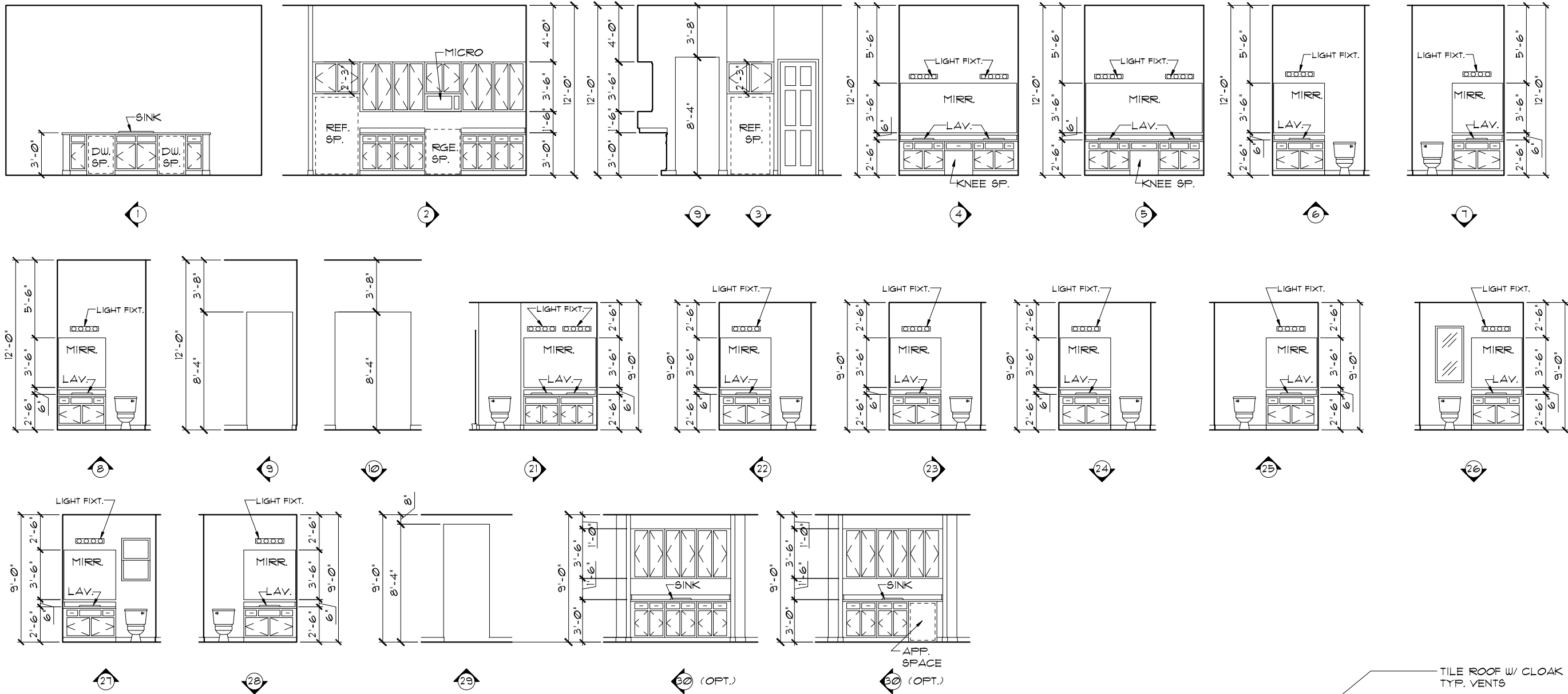
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Park Square HOMES		
EXTERIOR ELEVATIONS LEFT AND RIGHT		
SEACOAST	PARADISO GRANDE	
5590		
DATE	04-15-21	
SCALE	AS NOTED	
DRAWN	RDC	
JOB	5590	
SHEET	07C.0	
OF	SHEETS	

INTERIOR ELEVATIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



CROSS SECTION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

- TILE ROOF W/ CLOAK TYP. VENTS
- PRE-ENG. WD. TRUSSES SYSTEM @ 24" O.C.
- INSULATION PER 2020 FBC ENERGY CONSERVATION - 11TH EDITION
- EL. 22'-8 3/4" / PLT. HGT.
- EL. 21'-0 3/4" / HDR. HGT.
- EL. 13'-8 3/4" / 2ND. FF.
- EL. 12'-0" / PLT. HGT.
- EL. 9'-0" / HDR. HGT.
- EL. 0'-0" / FIN. FLR.

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SEACOAST	PARADISO GRANDE
5590	
DATE	04-15-21
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DRAWN	RDC
JOB	5590
SHEET	08
OF	SHEETS

CROSS SECTION / INTERIOR ELEVATIONS

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Orlando, Florida 32811
Phone: (407) 529 - 3000

Engineering By:
DBE and C
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

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09.0
OF SHEETS

