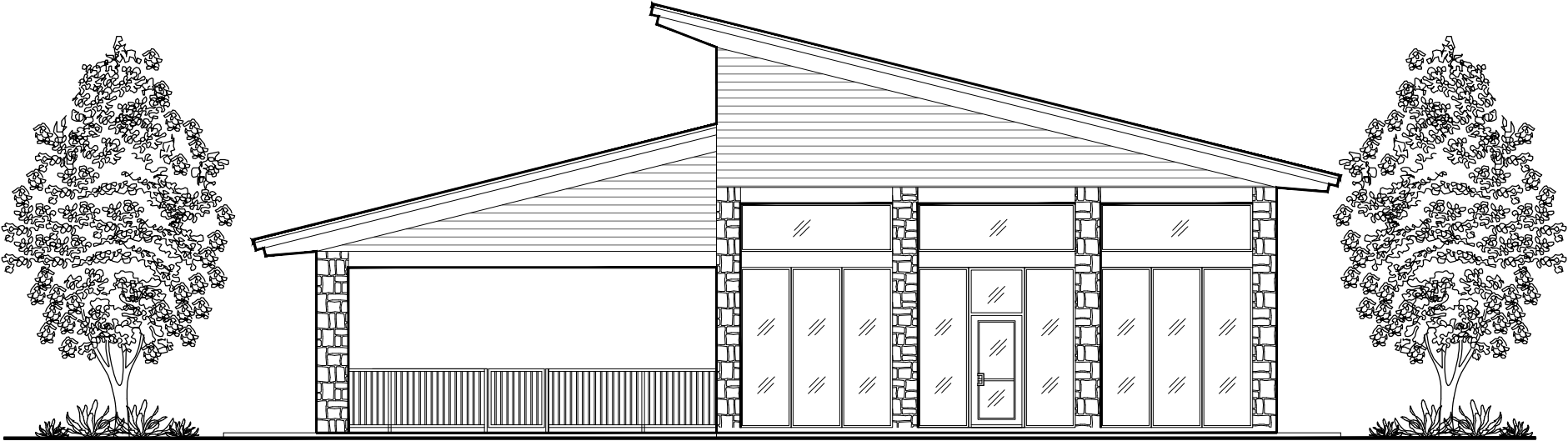




REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY
①	00-00-00		XXX

DESIGN DATA

WIND INFORMATION

- BASIC WIND SPEED - 140 MPH. (@ 3 SEC. GUST.)
- RISK CATEGORY II
- WIND EXPOSURE - CATEGORY B
- INTERNAL PRESSURE COEFFICIENT ±0.18
- COMPONENT/CLADDING DESIGN WIND PRESSURE +20.6/ -27.2 (FOR DOORS, WINDOWS, & TRANSOMS) U.N.O. (INTERNAL PRESSURE COEFFICIENT ±0.18 INCLUDED)

LOAD INFORMATION

1. **DEAD LOADS**

FLOOR:	STRUCTURE -	7 PSF
	CEILINGS -	3 PSF
	MECH/ELEC. PARTITIONS-	5 PSF
	TOTAL-	5 PSF
ROOF:	SHEATHING-	20 PSF
	STRUCTURE-	9 PSF
	CEILINGS-	7 PSF
	MECH/ELEC. TOTAL-	3 PSF
		5 PSF
		20 PSF

LIVE LOADS

FLOOR:	RESIDENTIAL FLOOR-	40 PSF
	UNINHABITABLE ATTIC WITHOUT STORAGE-	10 PSF
	UNINHABITABLE ATTIC WITH LIMITED STORAGE-	20 PSF
	ROOMS OTHER THAN SLEEPING ROOM-	40 PSF
	SLEEPING ROOM-	30 PSF
	STAIR LIVE LOAD-	40 PSF
	GUARD RAILS & HANDRAILS-	200 LBS

ROOF:	MINIMUM ROOF LIVE LOAD (PSF)		
	TRIBUTARY LOADED AREA (SQ. FT.)		
	FOR ANY STRUCTURAL MEMBER		
ROOF SLOPE	0-200	201-600	OVER 600
0:12<4:12	20	16	12
≥4:12<12:12	16	14	12
≥12:12	12	12	12

APPLICABLE CODES: INCLUDING ALL REVISIONS

- FLORIDA BUILDING CODE, RESIDENTIAL 2020 7TH EDITION
- ELECTRICAL, FBCR 2020 7TH EDITION
- FLORIDA BUILDING CODE, MECHANICAL 2020 7TH EDITION
- FLORIDA BUILDING CODE, PLUMBING 2020 7TH EDITION
- FIRE CODE, FFPC 2020 7TH EDITION
- ACCESSIBILITY CODE, FBCA 2020 7TH EDITION
- ENERGY CODE, FBCEC 2020 7TH EDITION
- PLUMBING , FBCP 2020 7TH EDITION

METHOD OF DESIGN:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET ALL LOAD REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE.

BUILDING OCCUPANCY CLASSIFICATION :

☐ GROUP A- ASSEMBLY	☐ GROUP H- HAZARDOUS
☐ GROUP B- BUSINESS	☐ GROUP I- INSTITUTIONAL
☐ GROUP D- DAY CARE CENTER	☐ GROUP M- MERCANTILE
☐ GROUP E- EDUCATIONAL	☒ GROUP R- RESIDENTIAL
☐ GROUP F- FACTORY INDUSTRIAL	☐ GROUP S- STORAGE

BUILDING CONSTRUCTION TYPE:

☐ TYPE I	☐ TYPE IV
☐ TYPE II	☒ TYPE V
☐ TYPE III	☐ TYPE V (SPRINKLERED)

1. DESIGN LIVE LOADS (MINIMUM)

A. FLOORS	40 PSF
B. BALCONIES -	60 PSF
C. DECKS -	60 PSF
D. STAIRS -	40 PSF
E. ROOFS -	20 PSF

OCOEE VILLAGE CABANA

PARK SQUARE HOMES

ARCHITECTURAL

DRAWING INDEX

STRUCTURAL

M.E.P.

A0.0	COVER SHEET
A1.1	FLOOR PLAN- DIMENSIONS
A1.2	FLOOR PLAN- NOTES
A2.1	EXTERIOR ELEVATIONS- FRONT AND LEFT
A2.2	EXTERIOR ELEVATIONS- REAR AND RIGHT
A3.0	REFLECTED CEILING PLAN
A4.0	DOOR/WINDOW/FINISH SCHEDULE
A5.0	ENLARGED BATH PLAN
A6.0	INTERIOR ELEVATIONS & DTLs
A7.0	WALL SECTIONS
A8.0	BUILDING SECTIONS
A9.0	EXT. ELEV. DETAILS.
A10.0	LIFE SAFETY PLAN

OWNER:
PARK SQUARE HOMES

ENGINEER OF RECORD:
DBSS INC. CA# 27371
3662 Avalon Park East Blvd.
Suite 2072
Orlando, FL. 32828
PHONE: 321-251-6006
CONTACT: SCOTT A. SANTOMAURO

CONSTRUCTION DOCUMENT SERVICES:
RDC INC.
4301 Vineland Road
Suite E1
Orlando, FL. 32811
PHONE: 407-930-1111
CONTACT: Michael Furukawa

PLUMBING, MECHANICAL, ELECTRICAL ENGINEER:
DBSS INC.
3662 Avalon Park East Blvd.
Suite 2072
Orlando, FL. 32828
PHONE: 321-251-6006
CONTACT: Scott A. Santomauro

LEGAL DESCRIPTION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

PARK SQUARE HOMES

© COPYRIGHT 2022

OCOEE VILLAGE CABANA

KIMAYA COMMUNITY

ORANGE COUNTY, FL

REVISIONS

BY

Engineering By:
DBSS ENGINEERING
SCOTT A. SANTOMAURO
FL REG. #65513
PHONE 321-251-6006

Construction By:
RDC, INC.
4401 Westwind Road
Suite E-1 and E-2
PHONE 407-930-1111

DATE 12-12-2022

SCALE AS NOTED

DRAWN RDC

JOB

SHEET

A0.0

OF XX SHEETS

SCOTT A. SANTOMAURO, M.S.P.E.
FLORIDA REG. #65513

OCOEE VILLAGE CABANA

KIMAYA COMMUNITY

ORANGE COUNTY, FL

COVER SHEET

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

© COPYRIGHT 2022

OCOEE VILLAGE CABANA

KIMAYA COMMUNITY

ORANGE COUNTY, FL

COVER SHEET

Engineering By:
DBSS ENGINEERING
SCOTT A. SANTOMAURO
FL REG. #65513
PHONE 321-251-6006

Construction By:
RDC, INC.
4401 Westwind Road
Suite E-1 and E-2
PHONE 407-930-1111

DATE 12-12-2022

SCALE AS NOTED

DRAWN RDC

JOB

SHEET

A0.0

OF XX SHEETS

SCOTT A. SANTOMAURO, M.S.P.E.
FLORIDA REG. #65513

OCOEE VILLAGE CABANA

KIMAYA COMMUNITY

ORANGE COUNTY, FL

COVER SHEET

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

© COPYRIGHT 2022

OCOEE VILLAGE CABANA

KIMAYA COMMUNITY

ORANGE COUNTY, FL

COVER SHEET

Engineering By:
DBSS ENGINEERING
SCOTT A. SANTOMAURO
FL REG. #65513
PHONE 321-251-6006

Construction By:
RDC, INC.
4401 Westwind Road
Suite E-1 and E-2
PHONE 407-930-1111

DATE 12-12-2022

SCALE AS NOTED

DRAWN RDC

JOB

SHEET

A0.0

OF XX SHEETS

SCOTT A. SANTOMAURO, M.S.P.E.
FLORIDA REG. #65513

OCOEE VILLAGE CABANA

KIMAYA COMMUNITY

ORANGE COUNTY, FL

COVER SHEET

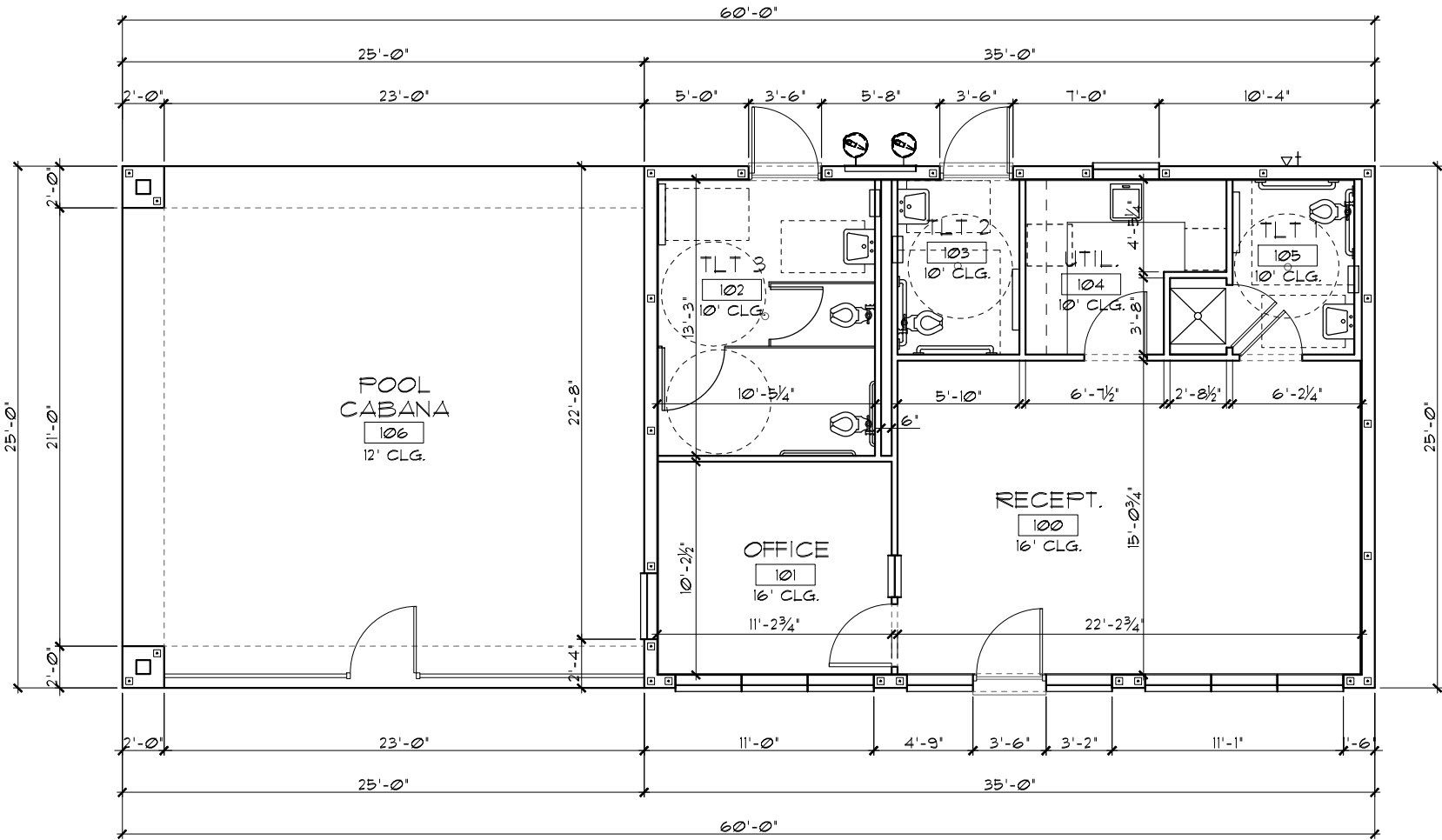
TABULATION	
LEASING OFFICE-----	875 SF.
COVERED CABANA-----	625 SF.
TOTAL UNDER ROOF	1,500 SF.

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3½" UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1½" UNLESS NOTED OTHERWISE.
5. ALL INTERIOR CEILINGS AT 10'-0" UNLESS NOTED OTHERWISE.
6. MECHANICAL EQUIPMENT LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

FLOOR PLAN W/ DIMENSIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

PARK SQUARE HOMES

RDC, INC. hereby reserves its common law copyrights and other copyrights in these plans, ideas, and design. These plans, ideas, and design are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from RDC, INC.

DATE	12-12-2022
SCALE	AS NOTED
DRAWN	RDC
JOB	
SHEET	A1.1
OF	XX SHEETS

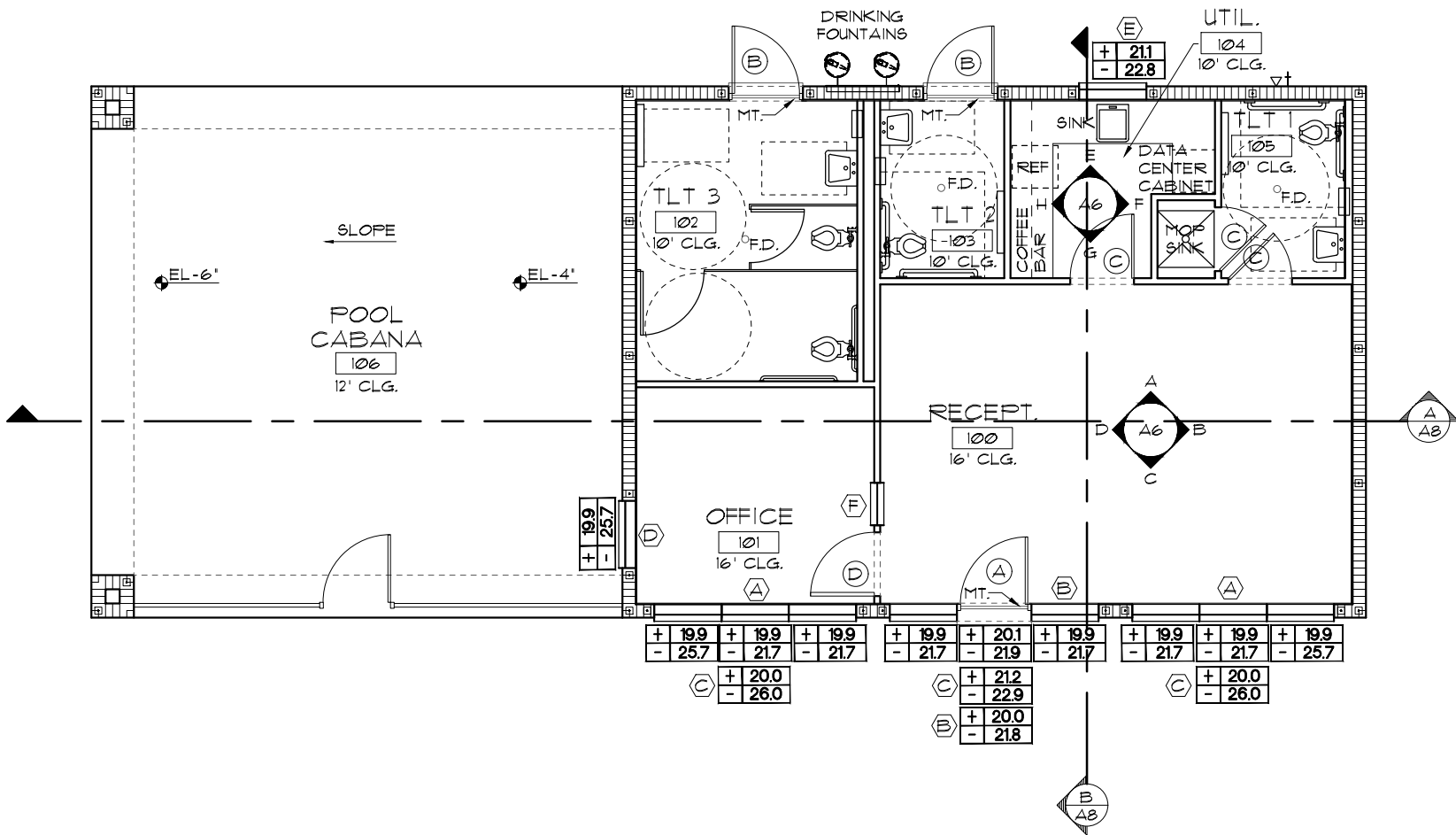
OCOEE VILLAGE CABANA
KIMAYA COMMUNITY
ORANGE COUNTY, FL

FLOOR PLAN W/ DIMENSIONS

REVISIONS	BY
Engineering By: D888 ENGINEERING SCOTT A. SANTOMAURO FL. REG. #65513	
Construction By: RDC, INC. 4401 United Road Suite E-1 and E-2 PHONE 407-880-1111	



SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513



NOTE: ALL INTERIOR DOORS ON THIS FLOOR TO BE: **8'-0"** UN.O. - VERIFY WITH COLOR SHEET.

○ DOOR SCHEDULE - PAGE A4.0

◡ WINDOW SCHEDULE - PAGE A4.0

WIND INFORMATION

NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

GENERAL NOTES

4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.

5. MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.

6.  DENOTES CONC. BLOCK WALL HGT. @ **10'-0" A.F.F.**

 DENOTES CONC. BLOCK WALL HGT. @ **N/A**

10. ALL INTER. FIRST FLOOR CEILINGS AT **10'-0"** UNLESS NOTED OTHERWISE.

ALL INTER. SECOND FLOOR CEILINGS AT **N/A** UNLESS NOTED OTHERWISE.

FLOOR PLAN W/ NOTES

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

PARK SQUARE HOMES

RDC, INC hereby reserves its common law copyrights and other copyrights in these plans, ideas, and design. These plans, ideas and designs are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from RDC, INC.

© COPYRIGHT 2022

SHEET
OF XX SHEETS

A1.2

OCOEE VILLAGE CABANA
KIMAYA COMMUNITY
ORANGE COUNTY, FL

DATE 12-12-2022

SCALE AS NOTED

DRAWN RDC

JOB

SHEET

A1.2
OF XX SHEETS

REVISIONS

BY

Engineering By:
D688 ENGINEERING
SCOTT A. SANTOMAURO
FL REG. #65513
PHONE 321-291-8008



Construction By:
RDC, INC.
4401 Westwood Road
Suite E-1 and E-2
PHONE 407-980-1111

FLOOR PLAN W/ NOTES

SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513

POOL CABANA - Occupant Load Calculations

(Per Florida Building Code 2020 - Table 1004.1.2)

Legend

 BUSINESS: Indicates Area Classified as "Business areas" grossft. / 100 ft. per Occupant

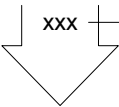
 BUSINESS: GRUP B (BUSSINES)
RECEPTION
OFFICE
UTILITY

Area± 332.55 sq/ft /100ft Occup = 3
Area± 113.30 sq/ft /100ft Occup = 1
Area± 68.36 sq/ft /100ft Occup = 1

TOTAL BUSINESS: 5 OCCUPANTS

TOTAL : 5 OCCUPANTS

LIFE SAFETY LEGEND

SYMBOL	DESCRIPTION	MOUNTING
	12"x12" RECESSED EMERGENCY LIGHT W/ BATTERY BACK-UP	
	EXIT LIGHT W/ LED LAMPS & BATTERY BACK-UP (SHADED QUADRANT) INDICATES FACE(S) OF FIXTURE(S)	
	EMERGENCY EGRESS LIGHTS W/ BATTERY BACK-UP	
FEC 	FIRE EXTINGUISHER CABINET WALL MOUNTED FIRE RATED CASE	SEE NOTE
	INDICATES FIRE RATED WALL PARTITION. REFER TO FLOOR PLAN	
	EXIT CAPACITY	

FLAME SPREAD NOTES

1. ALL WALL AND CEILING FINISH MATERIALS INCLUDING VINYL AND RUBBER BASE SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E-84 AND SHALL COMPLY WITH CLASS B INTERIOR FINISH WITH FLAME SPREAD 26-75 AND SMOKE DEVELOPED 0-450.
2. ALL EXTERIOR DOORS AND FRAMES SHALL COMPLY WITH CLASS A INTERIOR FINISH WITH FLAME SPREAD 0-25 AND SMOKE DEVELOPED 0-450.
3. FLOORING MATERIALS SHALL HAVE A MINIMUM OF CLASS II INTERIOR FLOOR FINISH RATING AS CLASSIFIED IN ACCORDANCE WITH NFPA 253.

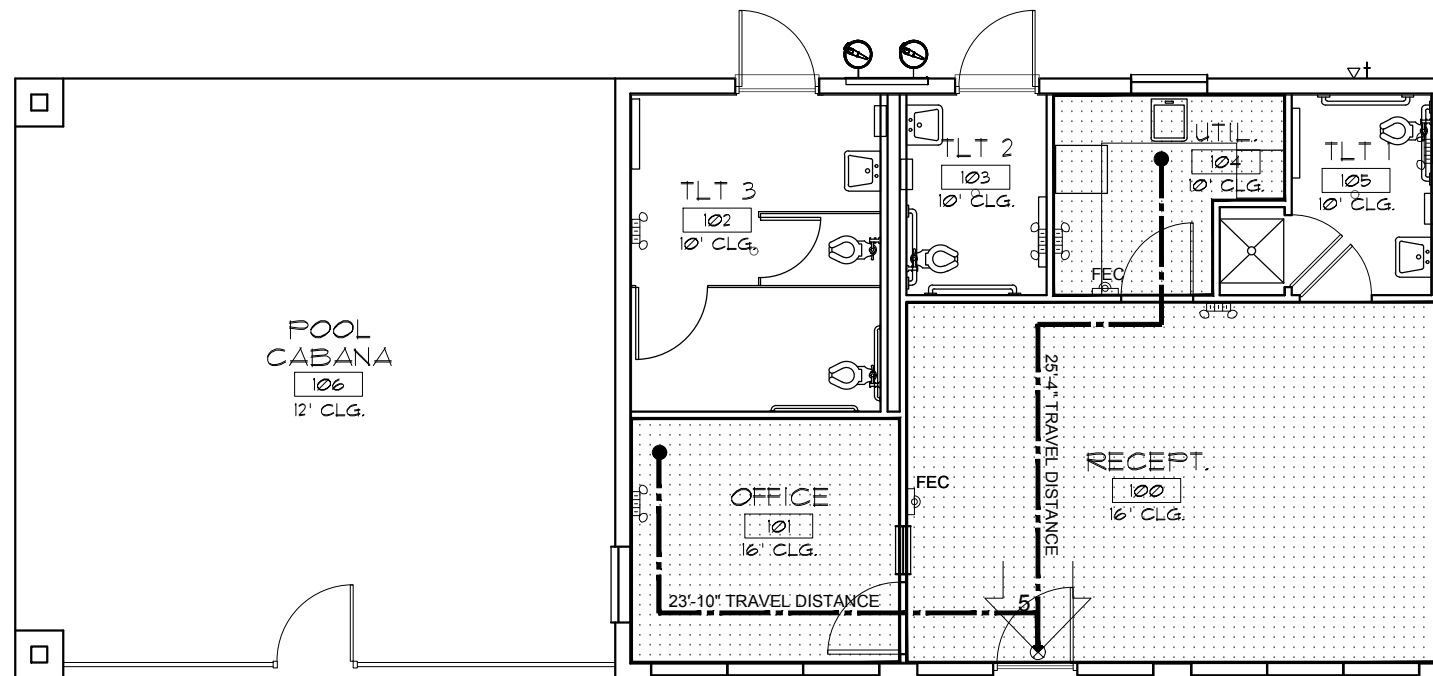
NOTE:

FIRE EXTINGUISHERS TO HAVE MINIMUM RATING OF A 2-A, 40-BC FOR EVERY 3000 SQ. FT. OF FLOOR AREA. TRAVEL DISTANCE SHALL NOT EXCEED 75 FEET. ALL EXTINGUISHERS SHALL BE CONSPICUOUSLY AND READILY LOCATED. THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 5 FEET ABOVE FLOOR AND THE BOTTOM SHALL BE LESS THAN 4' FROM THE FLOOR. (TYP.)

AREA: 514 SF

MAX. OCCUPANCY : 5 PEOPLE

MAX TRAVEL DISTANCE 60'0"



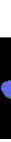
LIFE SAFETY PLAN

$$1/8" = 1' - 0" \quad (11 \times 17) \quad 1/4" = 1' - 0" \quad (22 \times 34)$$

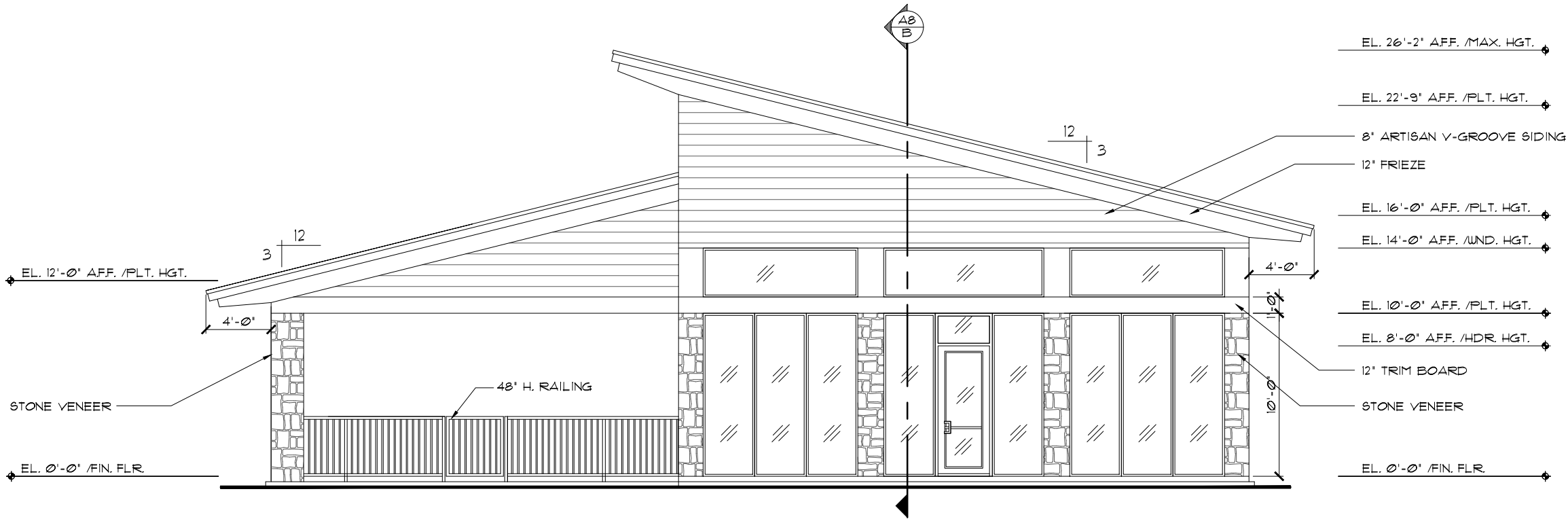
THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

THIS STRUCTURE IS DESIGNED TO WITHSTAND
PARK SQUARE HOMES

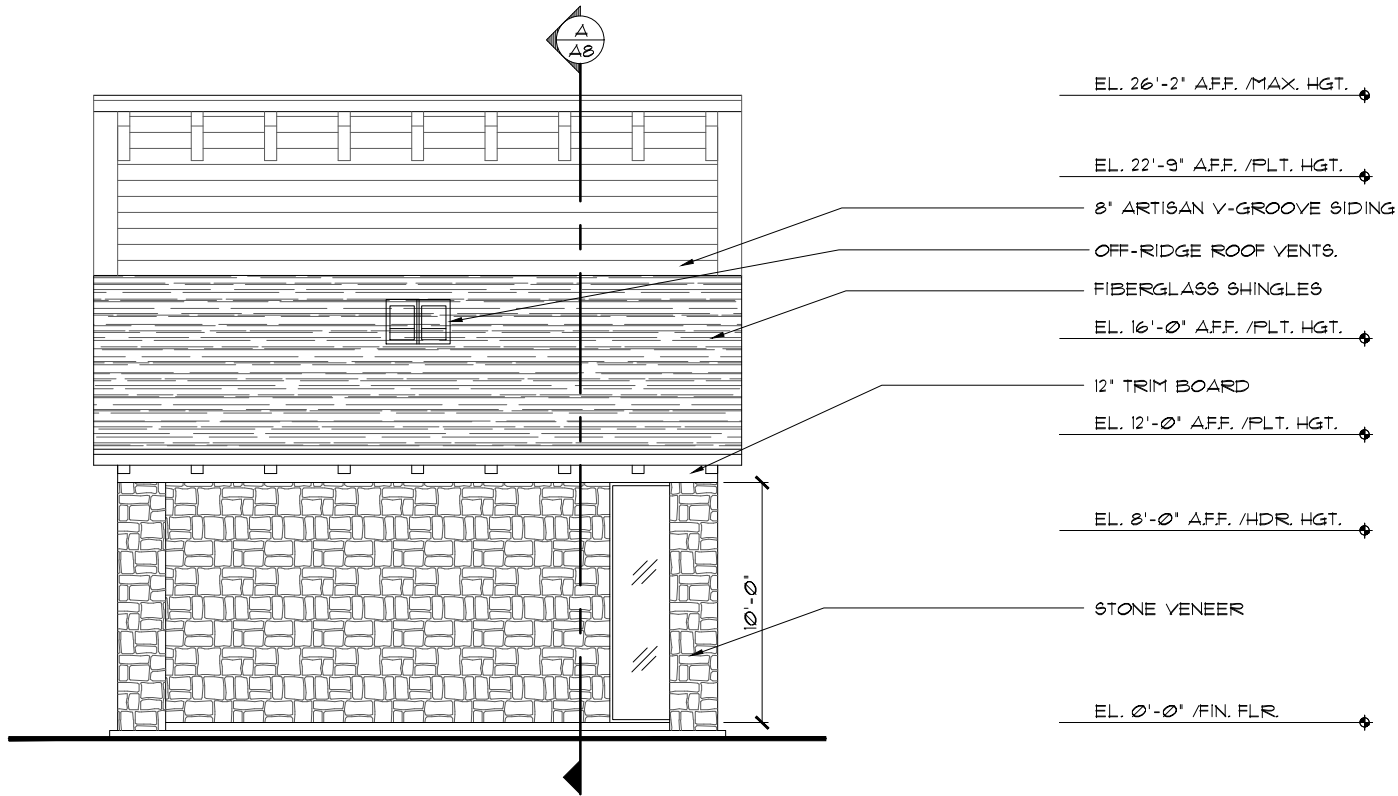
© COPYRIGHT 2022 RDC, INC hereby reserves its common law copyrights and other copyrights in these plans, ideas, and design. These plans, ideas and designs are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from RDC, INC.

REVISIONS		BY	
		Engineering By: DANIEL SANTAMARINO SCOTT A. SANTAMARINO FL REG #95593 PHONE 321-251-6006	
		Construction Documentation By: RDC, Inc. 4401 Westland Road Suite E-1 and E-2 Phone 407-660-1111	
LIFE SAFETY PLAN			
OOCEE VILLAGE CABANA		KIMAYA COMMUNITY ORANGE COUNTY, FL	
DATE	12-12-2022		
SCALE AS NOTED			
DRAWN	RDC		
JOB			
SHEET	A10.0		
OF XX SHEETS			

SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513



1 FRONT ELEVATION
A2.1 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



2 LEFT ELEVATION
A2.1 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 11TH EDITION, FBCR 2020
2. PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.1.2 OF THE 11TH EDITION, FBCR 2020
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 11TH EDITION, FBCR 2020
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.1.3 OF THE 11TH EDITION, FBCR 2020
5. 'ZIP SYSTEMS' WALL AND ROOF SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL AND ROOF SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS AND ROOF.

ATTIC VENTILATION CALCULATIONS

PER FBC2020 11TH EDITION R806:MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE & THE BALANCE TO BE IN LOWER PORTION (EAVES). THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE.

TOTAL VENTED SPACE:
1500S.F. = 5.00S.F. NET FREE REQ'D.
300

UPPER PORTION VENTILATION TOTAL:
2.91S.F. PROVIDED W/OFF RIDGE VENTS:
3 VENTS @ 0.97S.F. /VENT.
(LOMANCO 110-D - OR EQUAL)

LOWER PORTION VENTILATION TOTAL:
12.52S.F. PROVIDED W/OFFITS @ EAVE:
75L.F. @ 0.167 VENTING/L.F. (HARDIE SOFFIT PANELS)

UPPER PORTION PERCENTAGE: 50%
LOWER PORTION PERCENTAGE: 50%

SCOTT A. SANTOMAURO, M.S.P.E.
FLORIDA REG. #65513

REVISIONS BY

Engineering By:
D888 ENGINEERING
SCOTT A. SANTOMAURO
FL REG. #65513
PHONE 321-291-8008



Construction By:
D888 ENGINEERING
SCOTT A. SANTOMAURO
FL REG. #65513
PHONE 321-291-8008

EXTERIOR ELEVATIONS
FRONT AND LEFT

OCOE VILLAGE CABANA
KIMAYA COMMUNITY
ORANGE COUNTY, FL

DATE 12-12-2022

SCALE AS NOTED

DRAWN RDC

JOB

SHEET

A2.1

OF XX SHEETS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

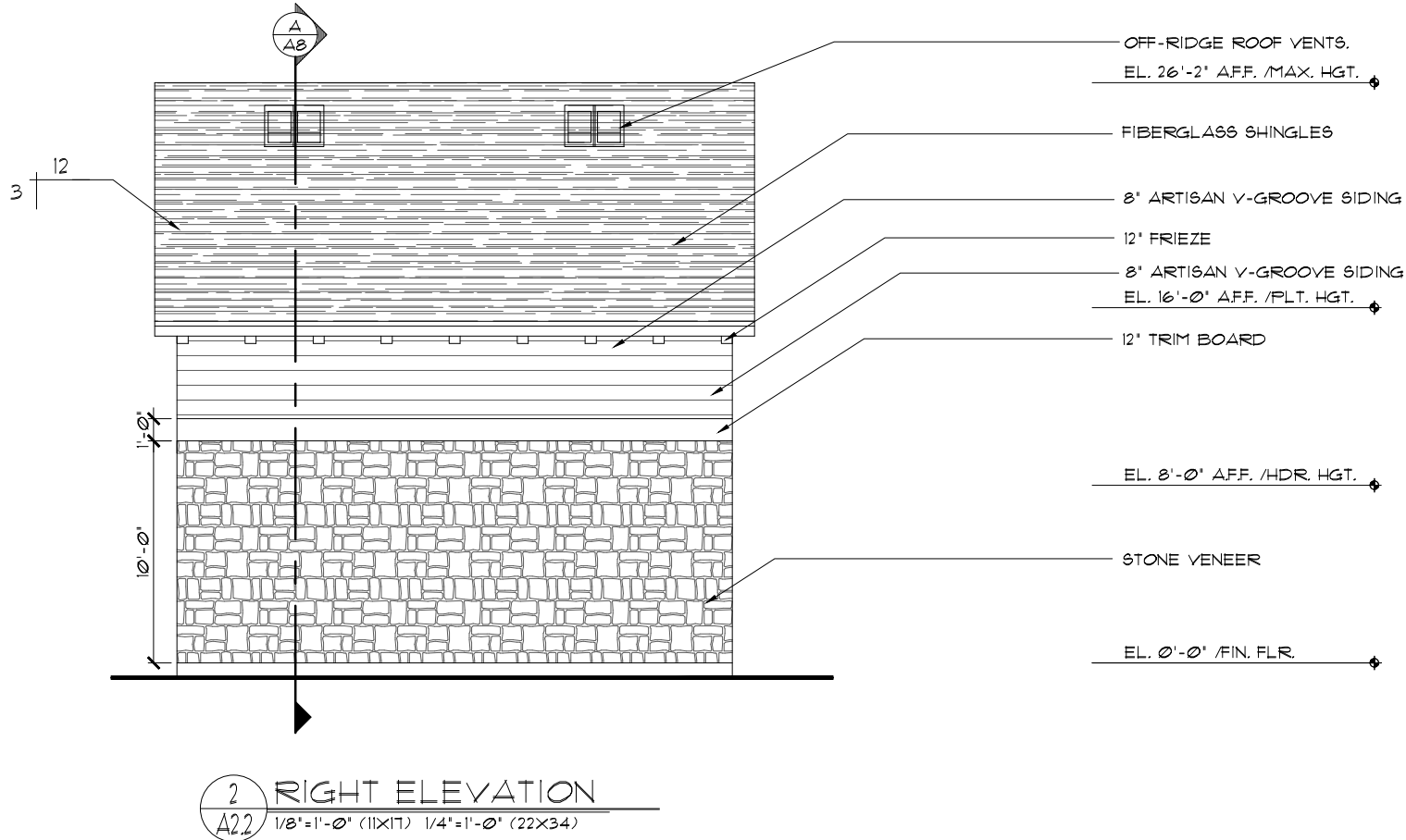
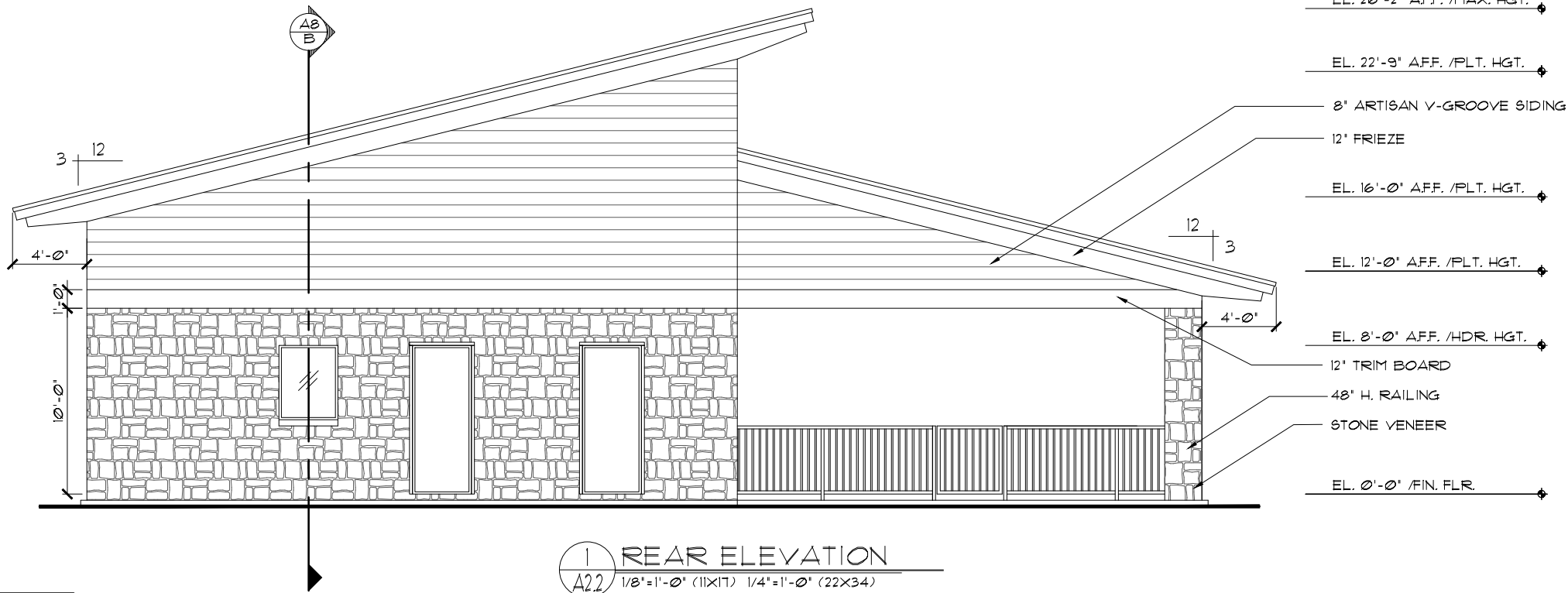
PARK SQUARE HOMES

RDC, INC. hereby reserves its common law copyrights and other copyrights in these plans, ideas, and designs. These plans, ideas, and designs are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from RDC, INC.

© COPYRIGHT 2022

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 11TH EDITION, FBCR 2020
2. PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.1.2 OF THE 11TH EDITION, FBCR 2020
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 11TH EDITION, FBCR 2020
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.1.3 OF THE 11TH EDITION, FBCR 2020
5. 'ZIP SYSTEMS' WALL AND ROOF SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL AND ROOF SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS AND ROOF.



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

PARK SQUARE HOMES

RDC, INC hereby reserves its common law copyrights and other copyrights in these plans, ideas, and design. These plans, ideas, and designs are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from RDC, INC.

DATE 12-12-2022
SCALE AS NOTED
DRAWN RDC
JOB
SHEET
A2.2
OF XX SHEETS

OCOE VILLAGE CABANA
KIMAYA COMMUNITY
ORANGE COUNTY, FL

EXTERIOR ELEVATIONS
REAR AND RIGHT

Construction By:
RDC, INC.
4401 W. Katonah Road
Suite E-1 and E-2
PHONE 407-980-1111



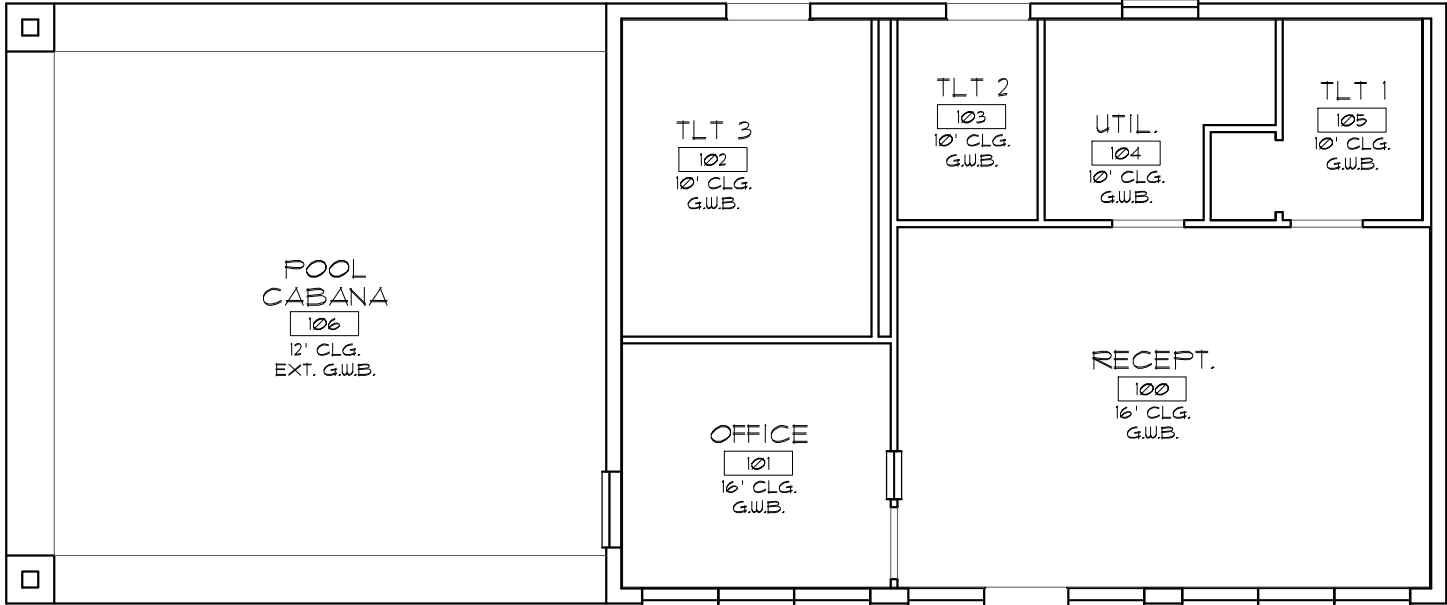
Engineering By:
D888 ENGINEERING
SCOTT A. SANTOMAURO
FL REG. #65513
PHONE 321-291-8008

REVISIONS BY

SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513

REFLECTED CEILING PLAN

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

PARK SQUARE HOMES

RDC, INC hereby reserves its common law copyrights and other copyrights in these plans, ideas, and design. These plans, ideas and designs are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from RDC, INC.

DATE	12-12-2022
SCALE	AS NOTED
DRAWN	RDC
JOB	
SHEET	
OF	XX SHEETS

OCOFEE VILLAGE CABANA
KIMAYA COMMUNITY
ORANGE COUNTY, FL

REFLECTED CEILING PLAN

Construction By:
RDC, INC.
4401 Westgate Road
Suite E-1 and E-2
PHONE 407-980-1111



Engineering By:
DBSS ENGINEERING
SCOTT A. SANTOMAURO
FL REG. 168816
PHONE 321-291-8008

REVISIONS	BY
-----------	----

○ DOOR SCHEDULE						
MARK	DOOR				HDWR. SET	REMARKS
	WIDTH	HEIGHT	MATERIAL	TYPE		
01	3'-0"	8'-0"	FIBERGLASS	A	PANIC HARDWARE	ALUMINIUM FRAME
02	3'-0"	8'-0"	FIBERGLASS	B	LEVER HDW.	ALUMINIUM FRAME
04	3'-0"	8'-0"	WOOD	C	LEVER HDW.	WOOD/ WOOD FRAME/ INT
08	3'-0"	8'-0"	FIBERGLASS	D	LEVER HDW.	ALUMINIUM FRAME/INT

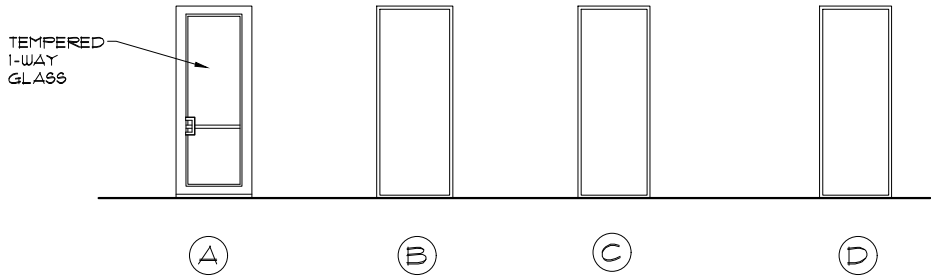
⬡ WINDOW SCHEDULE					
ID	WINDOW	OPENING	HD. HGT.	MATERIALS	REMARKS
A	FIXED	114"X120"	10'-0"	ALUMINUM	(3) 3/2X10/0 CLR.F.G. COLOR OF FRAME PER DIRECTION OF OWNER
B	FIXED	114"X120"	10'-0"	ALUMINUM	(2) 3/0X10/0 CLR.F.G. W/ (1) 3/0X2/0. TRANSOM COLOR OF FRAME PER DIRECTION OF OWNER
C	FIXED	114"X36"	14'-0"	ALUMINUM	(1) 9/6X3/0 CLR.F.G. COLOR OF FRAME PER DIRECTION OF OWNER
D	FIXED	38"X120"	10'-0"	ALUMINUM	(1) 3/0X10/0 CLR.F.G. COLOR OF FRAME PER DIRECTION OF OWNER
E	FIXED	38"X48"	8'-0"	ALUMINUM	(1) 3/2X4/0 CLR.F.G. COLOR OF FRAME PER DIRECTION OF OWNER
F	FIXED	60"X24"	8'-0"	ALUMINUM	(1) 5/0X2/0 CLR.

NOTE: NOMINAL SIZES SHOWN FOR REFERENCE ONLY -
VERIFY ACTUAL UNIT SIZES AND ROUGH OPENING
DIMENSIONS WITH MANUFACTURER.

FINISH SCHEDULE								
RM NO.	NAME	CEILING	WALLS	FLOOR	BASE	CROWN	CABINETS	COMMENTS
100	RECEPTION	KNOCK DOWN	P-1	TILE	1 1/4"	1 1/4"		SEE ELEVATION B ON PAGE A6.0
101	OFFICE	KNOCK DOWN	P-1	GLUE-DOWN	5 1/4"	NO		
102	TOILET 3	KNOCK DOWN	TILE / P-1	TILE	5 1/4"	NO		TILE WALLS TO CODE REQUIREMENT
103	TOILET 2	KNOCK	TILE / P-1	TILE	5 1/4"	NO		TILE WALLS TO CODE REQUIREMENT
104	UTILITY	KNOCK DOWN	P-1	TILE	5 1/4"	NO	42" FLAT FNL / LAM COUNTER TOP	ADD HARDWARE TO CABINETS
105	TOILET 1	KNOCK	TILE / P-1	TILE	5 1/4"	NO		TILE WALLS TO CODE REQUIREMENT
106	CABANA	MATCH EXTERIOR	MATCH EXTERIOR	PAVER	NO	NO		
	MOP CLOSET	KNOCK DOWN	TILE	TILE	NO	NO		

FINISH NOTES	
1.	COORDINATE ALL FINISHES WITH OWNER.
2.	ALL TILE WALLS SHALL HAVE 4' SANITARY TILE BASE.
3.	ALL WALLS IN TOILET ROOMS SHALL HAVE PAPERLESS WATER RESISTANT GYPSUM BOARD. ALL WALL TILE AREAS TO RECEIVE CONCRETE BACKER BOARD SHEATHING. SEE INTERIOR ELEVATIONS.
4.	ALL OTHER AREAS IN TOILET ROOMS TO RECEIVE PAPERLESS WATERPROOF GYPSUM BOARD WITH WATER AND MILDEW RESISTANT WASHABLE PAINT.
	ALL FINISHES TO COMPLY W/ NFPA 101-102 AND FBC TABLE 803.5 FLAME SPREAD REQUIREMENTS. CEILING FINISHES SHALL BE CLASS 'A', ALL OTHERS CLASS 'A', OR 'B'.
5.	GYPSUM BOARD BE STAGGERED, 4' LAY DOWNS
6.	ALL EXPOSED WALL/CEILING SURFACES TO BE PAINTED UNLESS NOTED OTHERWISE. PAINT EXPOSED INTERIOR CONCRETE FLOORS.
7.	ALL PAINTING SHALL BE AS DIRECTED BY OWNER. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR ALL APPLICATIONS APPLYING 1 PRIMER COAT AND 2 FINISH COATS.

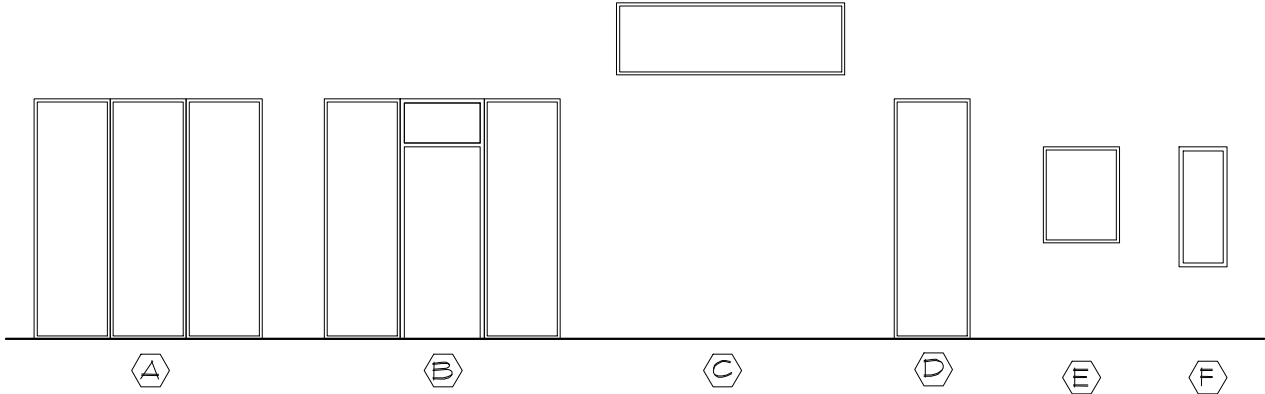
DOOR ELEVATIONS



NOTE: DOORS SHALL HAVE HARDWARE
ACCORDING TO FL. STATUE CHAP. 553
PART V FL. ACCESSIBILITY CODE 4.13.9

HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERATING DEVICES
ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO
GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING,
TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE.

WINDOW ELEVATIONS



ALL EXTERIOR WINDOWS - TEMPERED / INSULATED GLASS TYP.

GENERAL NOTES

1. WINDOW PRESSURES: ALL WINDOWS TO BE DESIGNED FOR +26 PSF AND -37 PSF (UNLESS OTHER NOTED IN SCHEDULE) TO WITHSTAND 139 MPH ULTIMATE WINDLOAD (FBC 1609).
2. VERIFY ALL DOOR SIZES AND FRAMES PRIOR TO INSTALLATION TO ASSURE PROPER OPERATION OF DOOR UNIT.
3. SUBMIT EXTERIOR WINDOW & DOOR COMPLIANCE REPORTS SIGNED AND SEALED BY FLORIDA LICENSED STRUCTURAL ENGINEER. VERIFY ALL DOOR SIZES AND FRAMES PRIOR TO INSTALLATION TO ASSURE PROPER OPERATION OF DOOR UNIT.
4. FIELD VERIFY WINDOW AND DOOR MANUFACTURER'S ROUGH OPENING DIMENSIONS AND COORDINATE W/ REQUIRED BLOCKING FOR ACTUAL ROUGH OPENING IN CMU WALLS. MAXIMUM SHIM SPACE SHALL BE 1/4" ALL AROUND.

FINISH LEGEND

MARK	DESCRIPTION	COLOR
ACT*	ACOUSTICAL CEILING TILE - SEE REFLECTED CEILING PLAN	
CPT	CARPET	
FRP	FIBERGLASS REINFORCED PLASTIC PANEL	
GYP. BD.	GYPSUM BOARD - PAINT	
LIN	LINOLEUM	
P-1	PAINT - LOW VOC, INTERIOR ACRYLIC LATEX SEMI-GLOSS	
SS	STAINLESS STEEL	
T-1	TILE	
VCT	VINYL COMPOSITION TILE	

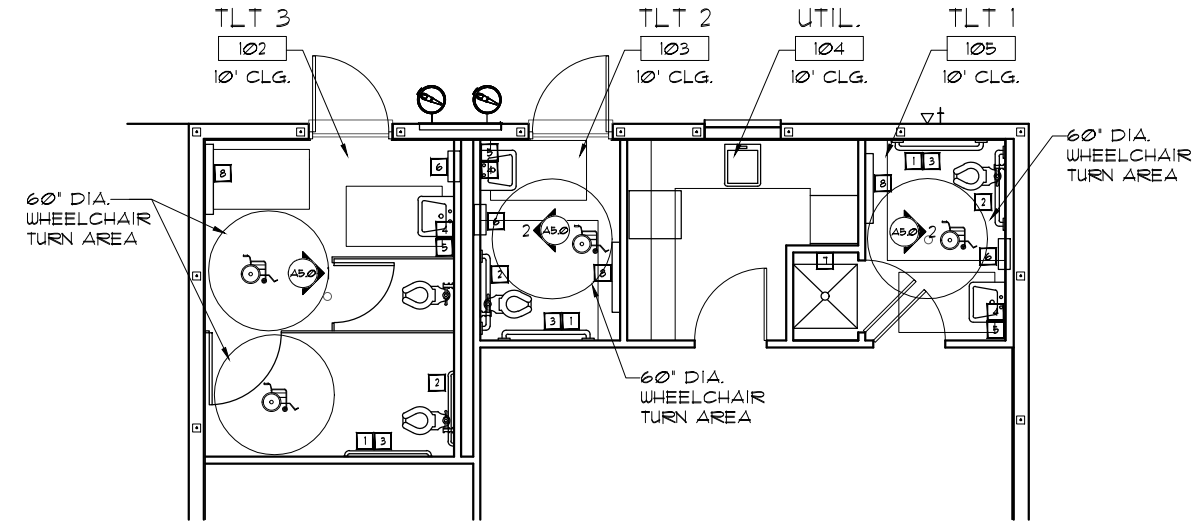
SCOTT A. SANTOMAURO, M.S.P.E.
FLORIDA REG. #65513

REVISIONS	BY
Engineering By: DSSS ENGINEERING SCOTT A. SANTOMAURO FL REG. #65513 PHONE 321-291-8008	
Construction By: DSSS ENGINEERING SCOTT A. SANTOMAURO FL REG. #65513 PHONE 321-291-8008	

DOOR/WINDOW/FINISH
SCHEDULES

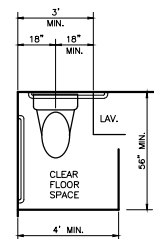
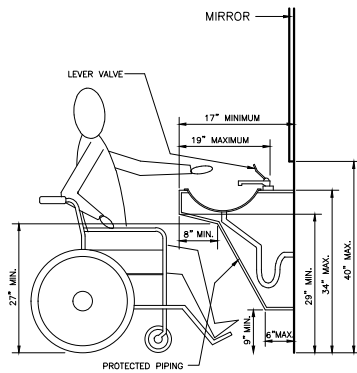
OCOFEE VILLAGE CABANA
KIMAYA COMMUNITY
ORANGE COUNTY, FL

DATE	12-12-2022
SCALE	AS NOTED
DRAWN	RDC
JOB	
SHEET	A4.0
OF XX SHEETS	

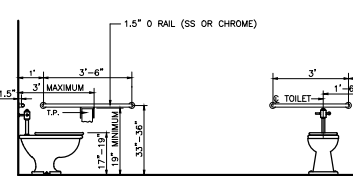


FLOOR PLAN

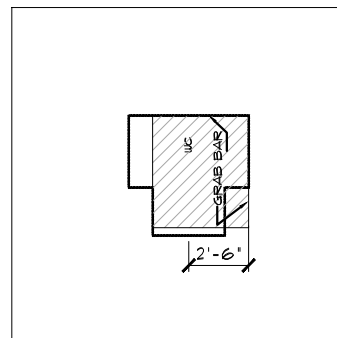
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)



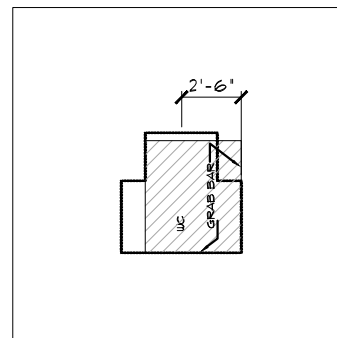
CLEAR FLOOR SPACE AT
WATER CLOSETS



ADA DETAILS (W.C.)



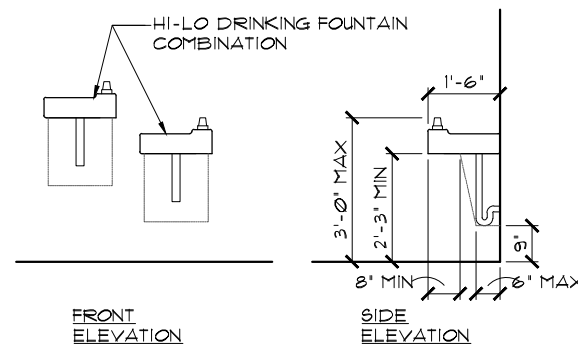
WC. MEN 1



WC. WOMEN 1

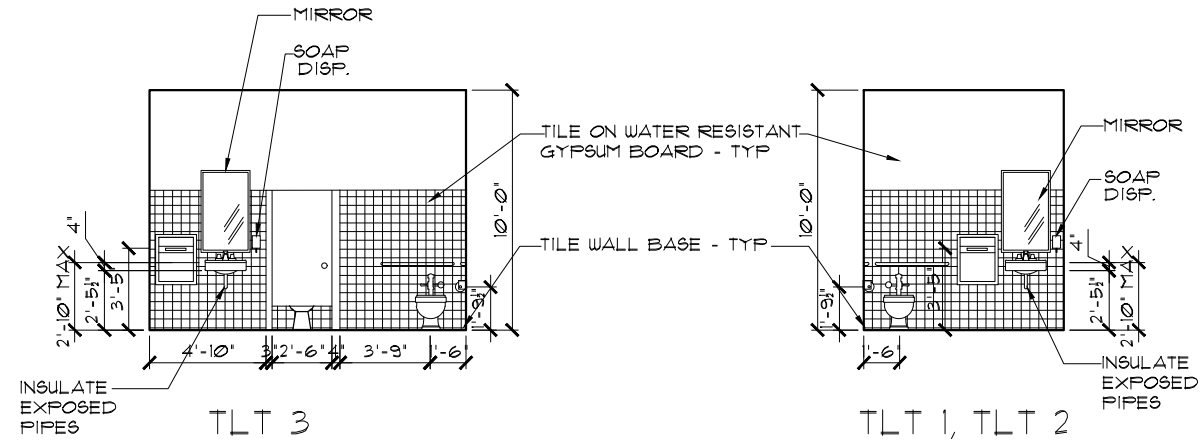
NOTE: HANDICAPPED RESTROOM TO BE IN ACCORDANCE WITH
FLA. ACCESSIBILITY CODE, CHAPTER 4 DRINKING FOUNTAIN
TO COMPLY WITH 4.15 OF F.A.C.

NOTE: DRINKING FOUNTAIN TO BE ADA APPROVED
& BE INSTALLED IN ACCORDANCE W/ THE CODE



DRINKING FOUNTAIN DETAIL

N.T.S.



ACCESSORIES

	DESCRIPTION	MANUF. NO.
1	42" GRABBAR	
2	36" GRABBAR	
3	TOILET TISSUE DISPENSER W/ SHELF	B-2840
4	MIRROR - HC	B-293 2436
5	SOAP DISPENSER	B-155
6	PAPER TOWEL DISPENSER / WASTE RECEPTACLE	B-3944
7	MOP AND BROOM HOLDER	
8	BABY CHANGING TABLE	BY OWNER

NOTES

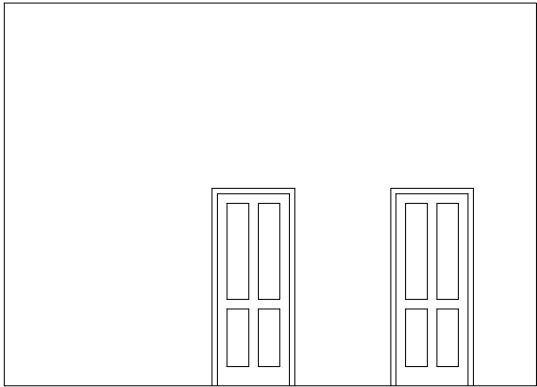
- FIXTURE NOTES:
- TOILET ACCESSORIES MANUFACTURER - "BOBRICK"
CONTACT GORDON ASTLE & ASSOCIATES (407) 339-6200
 - ALL DIMENSIONS TYPICAL UNLESS OTHERWISE NOTED INSULATE
ALL EXPOSED PIPES.
 - COORDINATE THESE STANDARD LOCATIONS W/ FLOOR PLAN -
SOME ITEMS ARE IN DIFFERENT HORIZONTAL POSITIONS OR ARE
NOT INCLUDED.
 - HANDICAP TOILETS ONLY NECESSARY IN STALLS SHOWN WITH
GRAB BARS.
 - COMPLIES WITH THE FOLLOWING CODES:
-ADA - 7/91
-ANSI A117.1-1986
-FLORIDA DEPT OF COMMUNITY AFFAIRS - FBC LATEST FLORIDA
ACCESSIBILITY CODE W/ UPDATES FOR BUILDING CONSTRUCTION
 - TOPS OF ALL DRAINS @ -1"-SLOPE FLOORS TO DRAIN -TYP.
 - TOILET PARTITIONS SHALL BE SOLID POLYMER - COLORS TO
BE SELECTED. HARDWARE TO BE STAINLESS STEEL.
 - ALL TOILET ROOMS DESIGNED TO MEET ADA REQUIRED FLOOR
CLEARANCES.

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

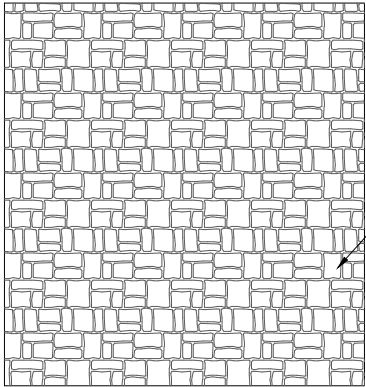
PARK SQUARE HOMES

RDC, INC hereby reserves its common law copyrights and other copyrights in these plans, ideas, and design. These plans, ideas and designs are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from RDC, INC.

REVISIONS	BY
Engineering By: D888 ENGINEERING SCOTT A. SANTOMAURO FL REG. 166515 PHONE 321-251-8006	
Construction By: RDC, INC 4401 West 1st Road Suite E-1 and E-2 PHONE 407-980-1111	
ENLARGED BATH PLAN	
OCOEE VILLAGE CABANA KIMAYA COMMUNITY ORANGE COUNTY, FL	
DATE	12-12-2022
SCALE	AS NOTED
DRAWN	RDC
JOB	
SHEET	
A5.0	
OF XX SHEETS	

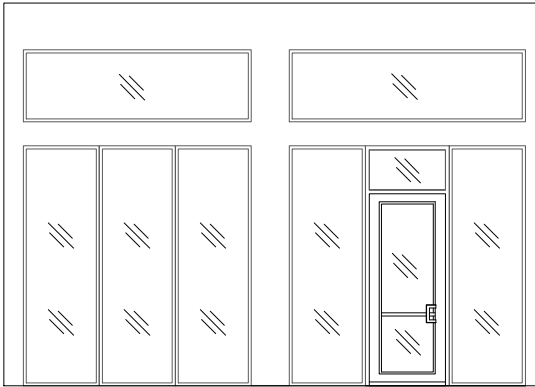


RECEPTION ELEVATION A

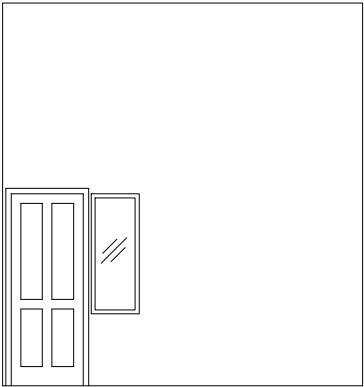


STONE VENEER TO
MATCH EXTERIOR

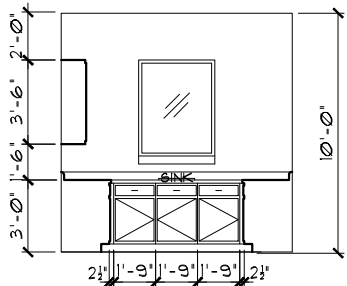
RECEPTION ELEVATION B



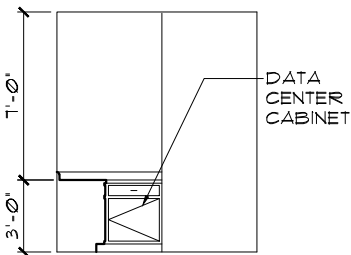
RECEPTION ELEVATION C



RECEPTION ELEVATION D

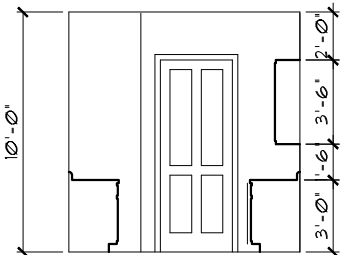


UTILITY ROOM ELEVATION E

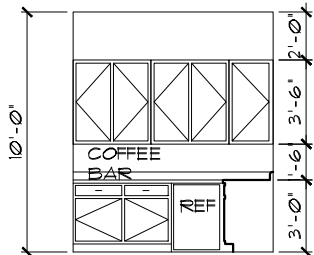


DATA
CENTER
CABINET

UTILITY ROOM ELEVATION F



UTILITY ROOM ELEVATION G



UTILITY ROOM ELEVATION H

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

PARK SQUARE HOMES

RDC, INC hereby reserves its common law copyrights and other copyrights in these plans, ideas, and design. These plans, ideas and designs are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from RDC, INC.

© COPYRIGHT 2022

DATE

12-12-2022

SCALE

AS NOTED

DRAWN

RDC

JOB

SHEET

A6.0

OF

XX SHEETS

OCOEE VILLAGE CABANA

KIMAYA COMMUNITY
ORANGE COUNTY, FL

INTERIOR ELEVATIONS

Construction
Documentation By

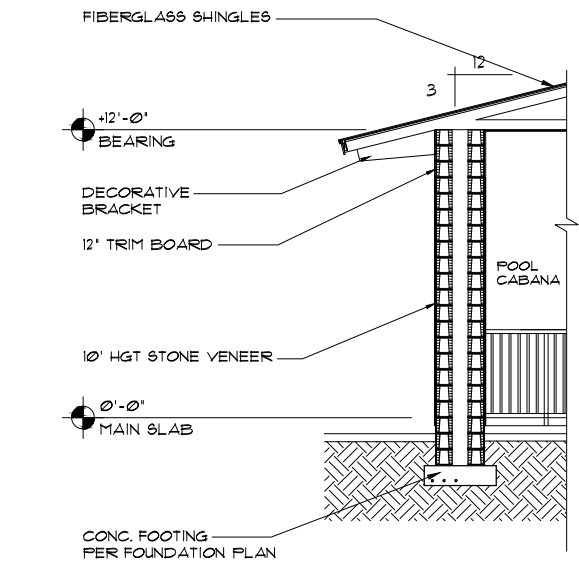
RDC, INC
4401 Westwood Road
Suite E-1 and E-2
PHONE 407-980-1111



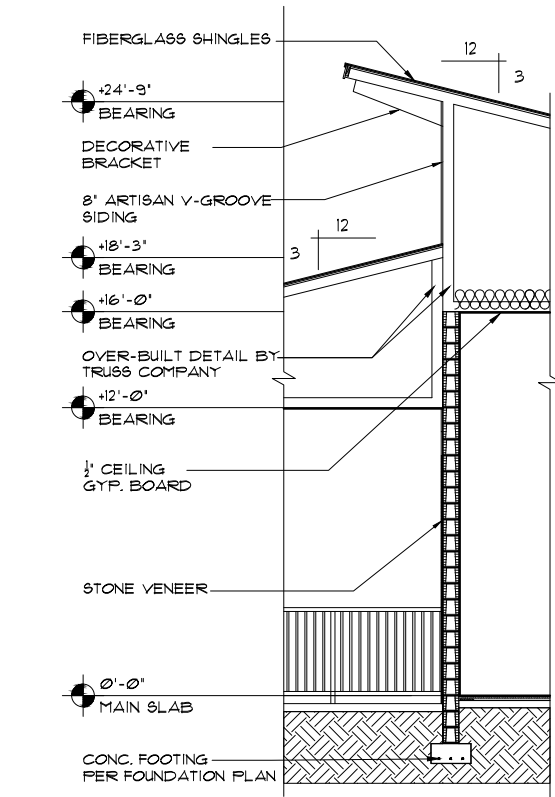
Engineering By:
D688 ENGINEERING
SCOTT A. SANTOMAURO
FL REG. 168816
PHONE 321-291-8008

REVISIONS

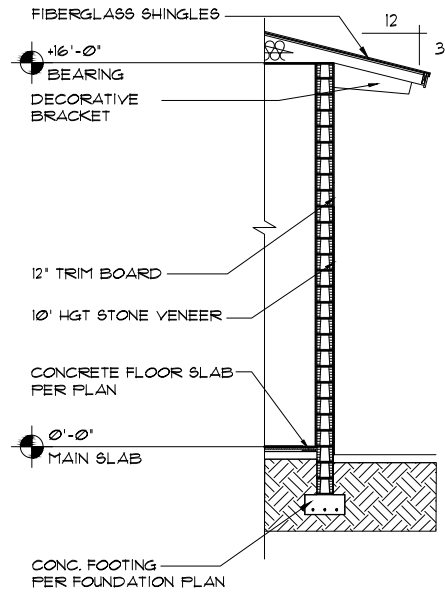
BY



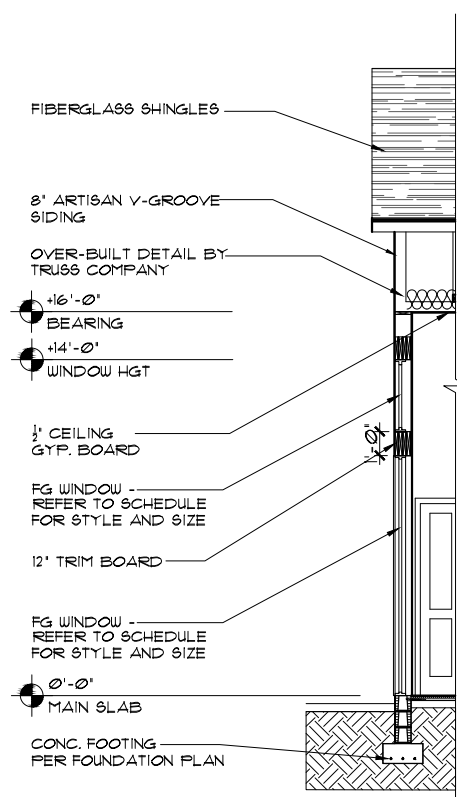
1 WALL SECTION
A7.0 NTS



3 WALL SECTION
A7.0 NTS



2 WALL SECTION
A7.0 NTS



4 WALL SECTION
A7.0 NTS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

PARK SQUARE HOMES

RDC, INC hereby reserves its common law copyrights and other copyrights in these plans, ideas, and design. These plans, ideas and designs are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from RDC, INC.

© COPYRIGHT 2022
A7.0
OF XX SHEETS

OCOEE VILLAGE CABANA
KIMAYA COMMUNITY
ORANGE COUNTY, FL

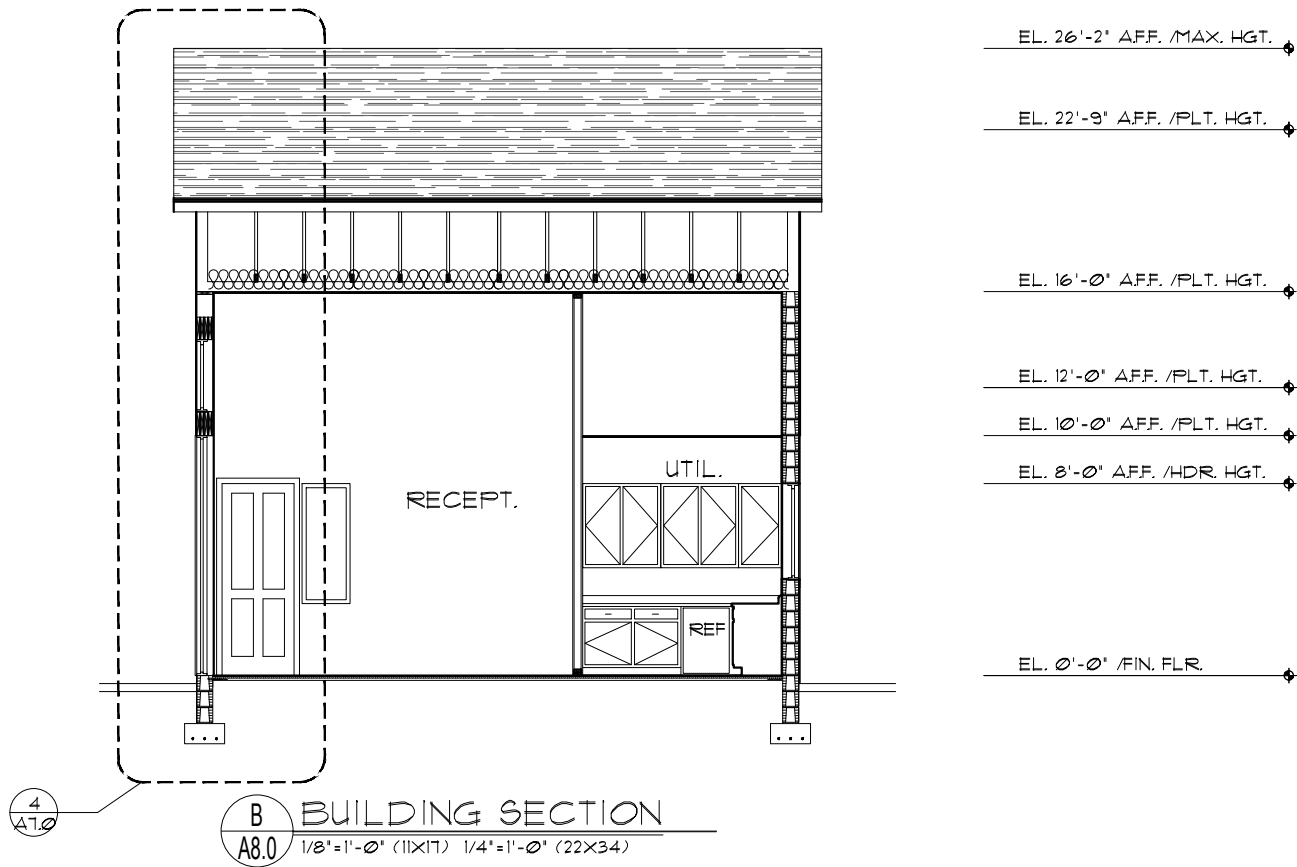
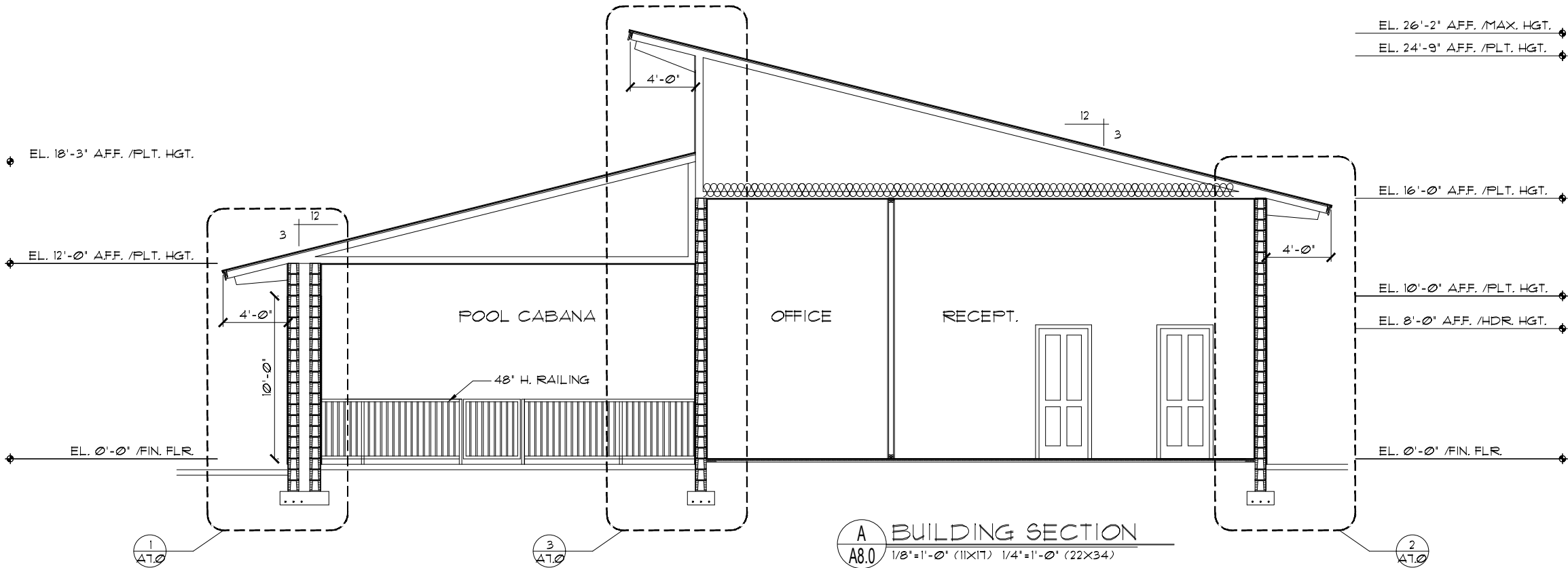
DATE 12-12-2022
SCALE AS NOTED
DRAWN RDC
JOB
SHEET

REVISIONS	BY
Engineering By: D888 ENGINEERING SCOTT A. SANTOMAURO FL REG #65513 PHONE 407-980-1111	
Construction By: RDC, INC 4401 West 1st Road Suite E-1 and E-2 PHONE 407-980-1111	



WALL SECTIONS

SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

PARK SQUARE HOMES

RDC, INC hereby reserves its common law copyrights and other copyrights in these plans, ideas, and design. These plans, ideas and designs are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from RDC, INC.

DATE 12-12-2022
SCALE AS NOTED
DRAWN RDC
JOB
SHEET
A8.0
OF XX SHEETS

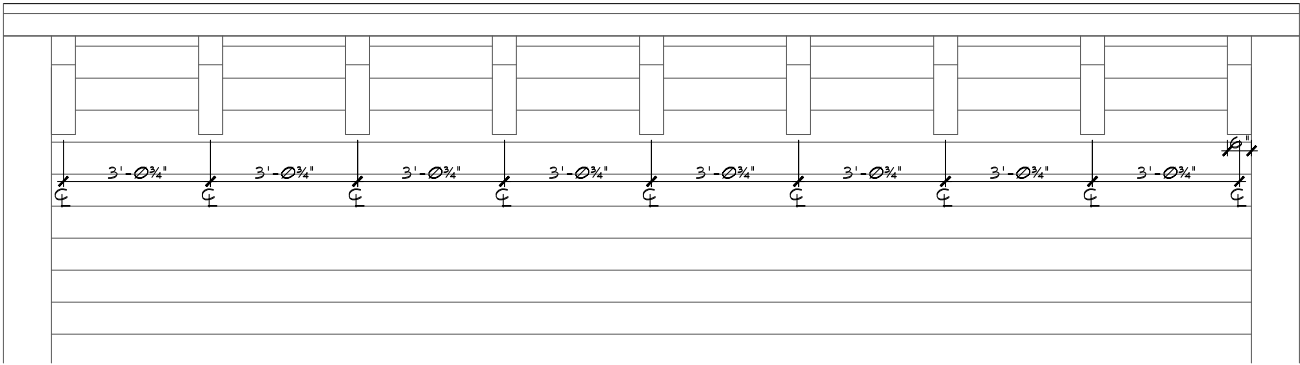
OCOFEE VILLAGE CABANA
KIMAYA COMMUNITY
ORANGE COUNTY, FL

BUILDING SECTIONS

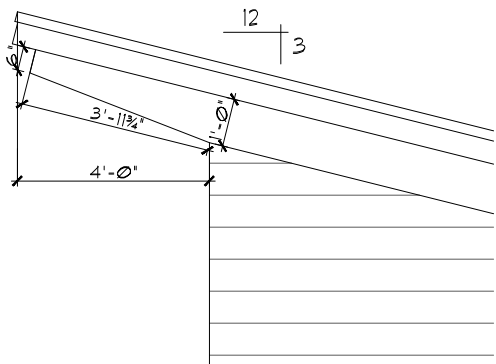
REVISIONS	BY
Engineering By: D688 ENGINEERING SCOTT A. SANTOMAURO FL REG. #65513	
Construction Documentation By: RDC, INC. 4401 W. Katonah Road Suite E-1 and E-2 PHONE 407-980-1111	



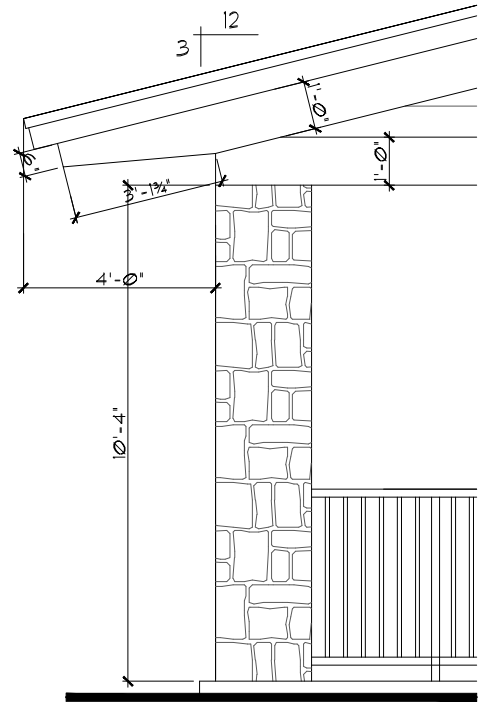
SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513



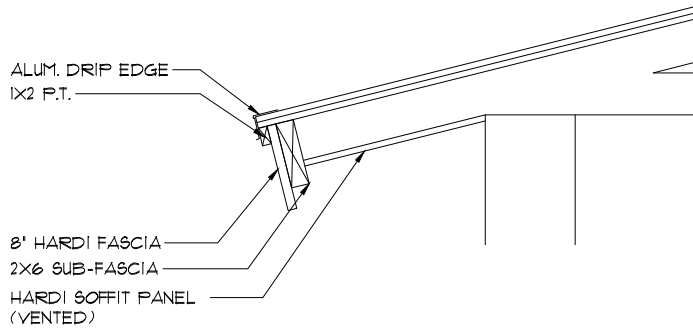
1
A9.0 ROOF EXPOSED TRUSSES DETAIL



3
A9.0 ROOF EXPOSED TRUSSES DETAIL



2
A9.0 COLUMN AND ROOF DETAIL



4
A9.0 FASCIA DETAIL

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE FLORIDA BUILDING CODE 2020 EDITION AND IS CERTIFIED AS SUCH.

PARK SQUARE HOMES

RDC, INC hereby reserves its common law copyrights and other copyrights in these plans, ideas, and design. These plans, ideas and designs are not to be copied or changed in any manner or form whatsoever, nor are they to be assigned to any third party without first obtaining the express written permission from RDC, INC.

DATE 12-12-2022
SCALE AS NOTED
DRAWN RDC
JOB
SHEET
A9.0
OF XX SHEETS

OCOE VILLAGE CABANA
KIMAYA COMMUNITY
ORANGE COUNTY, FL

EXTERIOR ELEVATIONS
DETAIL

Construction By:
RDC, INC.
4401 W. State Road
Suite E-1 and E-2
PHONE 407-980-1111



Engineering By:
D888 ENGINEERING
SCOTT A. SANTOMAURO
FL REG. #65513
PHONE 321-291-8008

REVISIONS
BY

SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513

ELECTRICAL SCOPE

- WIRE CABANA PER PLAN

ELECTRICAL SCOPE

(A) RESPONSIBILITIES

1.

ALL ELECTRICAL WORK SHALL COMPLY WITH:
THE 2017 NATIONAL ELECTRICAL CODE (NEC 2017),
THE 2020 FLORIDA BUILDING CODE, 7th EDITION,
AND ALL LOCAL CODES AND ORDINANCES.

2.

ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR.

3.

ELECTRICAL CONTRACTOR SHALL VERIFY THAT ALL INSTALLATIONS MEET THE REQUIREMENTS OF
THE LOCAL POWER AND UTILITY COMPANIES.

4.

ELECTRICAL CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EQUIPMENT, AND FIXTURES WITH
ALL OTHER CONSTRUCTION TRADES PRIOR TO ROUGH-IN.

5.

REFER TO ARCHITECTURAL PLANS FOR RECEPTACLE, CONDUITS, AND EQUIPMENT MOUNTING
HEIGHTS.

6.

RECORD DRAWINGS OF THE ACTUAL INSTALLATION SHALL BE PROVIDED TO THE BUILDING OWNER,
INCLUDING:

a.

A SINGLE-LINE DIAGRAM OF THE BUILDING ELECTRICAL DISTRIBUTION SYSTEM.

b.

FLOOR PLANS INDICATING LOCATION AND AREA SERVED FOR ALL DISTRIBUTION WITHIN 30 DAYS
OF SYSTEM ACCEPTANCE.

7.

AN OPERATING MANUAL AND MAINTENANCE MANUAL MUST BE PROVIDED TO THE BUILDING OWNER.
THE MANUALS SHALL INCLUDE AT A MINIMUM, THE FOLLOWING:

a.

SUBMITTAL DATA STATING EQUIPMENT RATING AND SELECTED OPTIONS FOR EACH PIECE OF
EQUIPMENT REQUIRING MAINTENANCE.

b.

OPERATION MANUALS AND MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING
MAINTENANCE. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.

c.

NAMES AND ADDRESSES OF AT LEAST ONE QUALIFIED SERVICE AGENCY.

d.

A COMPLETE NARRATIVE OF HOW EACH SYSTEM IS INTENDED TO OPERATE.

8.

ELECTRICAL CONTRACTOR SHALL PROVIDE FUNCTIONAL TESTING IN ACCORDANCE WITH THE
2020 FBC-ENERGY CONSERVATION, 7th EDITION: SECTION C408.3

9.

CIRCUTRY SHOWN ON PLANS IS USED FOR LOAD CALCULATION DATA, ELECTRICAL CONTRACTOR
CAN MODIFY AS REQUIRED TO SUIT FIELD CONDITIONS.

(B) CONDUITS

1.

ALL EMPTY ELECTRICAL CONDUITS SHALL BE PROVIDED WITH PULL STRINGS IN THEM.

2.

ALL ELECTRICAL CONDUITS TO BE CONCEALED UNLESS "UNFEISABLE" DUE TO EXISTING CONDITIONS
(I.E. EXPOSED STRUCTURAL CEILINGS, BUILDING EXTERIOR WALLS). ALL CONDUITS ABOVE CEILINGS
OR WITHIN WALLS AND COUNTERS SHALL BE CONCEALED.

3.

FEEDER CONDUCTORS HAVE BEEN SIZED FOR A MAX. VOLTAGE DROP OF 2% AT DESIGN LOAD.
BRANCH CIRCUIT CONDUCTORS HAVE BEEN SIZED FOR A MAX. VOLTAGE DROP OF 3% AT DESIGN
LOAD.

(C) MATERIALS

1.

ALL MATERIALS AND FIXTURES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

2.

ELECTRICAL CONTRACTOR TO COORDINATE ALL POWER REQUIREMENTS WITH EQUIPMENT
SUPPLIER FOR INSTALLATION - INSTALL IN ACCORDANCE WITH MANUFACTURER'S
RECOMMENDATIONS.

3.

ALL ELECTRICAL CONDUCTORS SHALL CONFORM WITH NEC 2017 AND SHALL MEET ASTM
SPECIFICATIONS.

(D) WIRING

1.

MINIMUM WIRE SIZE SHALL BE NO. 12 AND SHALL BE SOFT DRAWN COPPER, SOLID WITH THWN/THHN
INSULATION IN SIZES THROUGH NO. 10 AND STRANDED WITH THWN/THHN INSULATION FOR NO. 8 AND
LARGER.

2.

LARGER WIRE SIZES MAY BE REDUCED TO #12 CU DIRECTLY AHEAD OF SWITCHES OR RECEPTACLES
ON 20 AMP CIRCUITS ONLY. ELECTRICAL CONTRACTOR TO PROVIDE JUNCTION BOX AT LOCATIONS
WHERE STEP DOWN OCCURS.

3.

FEEDER AND BRANCH CIRCUIT CONDUCTORS HAVE BEEN SIZED IN ACCORDANCE WITH THE
2020 FBC-ENERGY CONSERVATION, 7th EDITION: SECTION C405.5.3.

(E) COMPONENTS

1.

ELECTRICAL CONTRACTOR TO VERIFY ALL BREAKER AND WIRE SIZES WITH EQUIPMENT TO BE
ATTACHED PRIOR TO INSTALLATION.

2.

ALL DUPLEX RECEPTACLES AND TOGGLE SWITCHES TO BE 20 AMP, UNLESS NOTED OTHERWISE.

3.

ALL DEDICATED DUPLEX RECEPTACLES TO BE 20 AMP, UNLESS NOTED OTHERWISE.

4.

AUTOMATICALLY CONTROLLED RECEPTACLES SHALL BE PROVIDED IN PRIVATE OFFICES, COMPUTER
ROOMS AND OPEN OFFICE AREAS TO ALLOW FOR AT LEAST 50% USAGE REDUCTION WHEN SPACE IS
NOT OCCUPIED.

5.

ALL OUTDOOR RECEPTACLES SHALL BE WEATHER RESISTANT RATED G.F.I. WITH WEATHERPROOF
COVERS

6.

ALL RECEPTACLES WITHIN 6 FEET OF WATER SHALL BE G.F.I. RATED OR PROTECTED BY G.F.I.
BREAKER. REFERENCE NEC 2017: SECTION 210.8.

MINIMUM WIRE SIZES

COPPER

20 AMP BREAKER OR FUSE

#12 AWG

30 AMP BREAKER OR FUSE

#10 AWG

40 AMP BREAKER OR FUSE

#8 AWG

50 AMP BREAKER OR FUSE

#6 AWG

60 AMP BREAKER OR FUSE

#6 AWG

OUTDOOR LIGHTING

PHOTO CONTROL

NEUTRAL

HOT / LINE

NC

NO

COM

INTERIOR LIGHTING

NEUTRAL

HOT / LINE

NC

NO

COM

1

EXTERIOR LIGHTING CONTACTOR
DETAIL

N.T.S.

TO EQUIP. GROUND

OPTIONAL GROUND:
UNDERGROUND METAL WATER PIPE NEC 250.52 (A) (1)

OPTIONAL GROUND:
NEW BUILDING FOOTING

OPTIONAL GROUND:
CONCRETE-ENCASED ELECTRODE NEC 250.52 (A) (3)

OPTIONAL GROUND:
GROUND RING MINIMUM 2 AWG NEC 250.52 (A) (4)

#4 CU. GROUNDING
ELECTRODE CONDUCTOR

#6 CU. E.G. NEC
250.66 (A)

BUILDING STEEL
(BAR JOISTS)

PROVIDE (2)
10FT 5/8"
GROUND ROD

6'-0"
MIN.

GROUNDING OPTIONS

1.

AFTER GROUNDING SYSTEM IS INSTALLED, GROUND RESISTANCE SHALL BE MEASURED, TO ASSURE THAT GROUND VALUE OF 25
OHM MAXIMUM RESISTANCE IS ACHIEVED. IF NOT, ADDITIONAL GROUNDING SHALL BE PROVIDED TO MEET THE SPECIFIED VALUE.

2.

ALL CONNECTIONS TO GROUND RODS SHALL BE EXOTHERMIC WELD CONNECTIONS. IF CONNECTION WILL REMAIN ACCESSIBLE,
ACORN STYLE GROUNDING CLAMPS MAY BE USED.

2

GROUNDING ELECTRODE
DETAIL

N.T.S.

NEW PANEL 'A'

AIC RATING

VOLTAGE

PHASE

WIRE

TYPE

AMPERAGE RATING

TBD

120/240

1

3

MLO

125

DESCRIPTION

KVA

BKR

CKT

A

B

CKT

BKR

KVA

DESCRIPTION

[LGT] GENERAL

1.250

1P20

1

1.970

2

1P20

0.720

[REC] OFFICE

[LGT] EXTERIOR

1.250

1P20

3

1.790

4

1P20

0.540

[REC] BATHROOMS

[REC] KITCHENETTE #1

0.360

1P20

5

0.860

6

1P20

0.500

[EQ] TIMECLOCK / CONTACTOR / HUMIDISTAT

[REC] KITCHENETTE #2

0.360

1P20

7

0.860

8

1P20

0.500

[EQ] DRINKING FOUNTAIN

[REC] EXTERIOR

0.180

1P20

9

0.680

10

1P20

0.500

[EQ] REFRIGERATOR [G.F.I.]

[REC] RECEPTION

0.900

1P20

11

1.900

12

1P20

1.000

[EQ] MICROWAVE

SPACE #13

13

0.000

14

SPACE #14

SPACE #15

15

0.000

16

SPACE #16

SPACE #17

17

0.000

18

SPACE #18

SPACE #19

19

0.000

20

SPACE #20

SPACE #21

21

0.000

22

SPACE #22

SPACE #23

23

0.000

24

SPACE #24

SPACE #25

25

2.250

26

2.250

2P30

2.250

[EQ] WATER HEATER

SPACE #27

27

28

2.250

[HVAC] AHU [2.5 TON]

3.240

2P30

29

5.280

30

2.040

2P25

2.040

[HVAC] HEAT PUMP [2.5 TON]

KVA PER LEG

11.040

12.080

AMPS PER LEG

92

101

SINGLE PHASE LOADS

DESCRIPTION

KVA

DF

TOTAL

[EQ] EQUIPMENT

7.00

1.00

7.00

[REC] RECEPTACLE LOAD

3.06

1.00

3.06

[LGT] LIGHTING LOAD

2.50

1.25

3.13

[HVAC] HEATING AND COOLING

10.56

1.00

10.56

TOTAL KVA

23.75

TOTAL AMPS

98.94

TOTAL AMPS

23.120

23.120

0.00

0

TOTAL KVA

0.00

TOTAL AMPS

BOND ALL METAL EQUIPMENT
/ RACEWAYS AS REQUIRED.

NOTE:
PAINT ALL EXPOSED CONDUITS TO
MATCH EXTERIOR WALL COLOR

PAD MOUNTED TRANSFORMER BY
UTIL. CO. ELECTRICAL CONTRACTOR
TO VERIFY LOCATION W/ UTIL. CO.
PRIOR TO COMMENCEMENT OF WORK.

TRANSFORMER
A.F.C. = TBD

1 SET OF (3) 2/0 AL
IN 2" CONDUIT

240/120V
METER

1 SET OF (3) 2/0 AL
IN 2" CONDUIT

125A
NEMA-3R
240/120V
FUSED
DISC.
AIC = TBD

VD < 2%

VD < 3%

NEW
PANEL 'A'
1-PHASE
240/120V
125 AMP
'MLO'
AIC = TBD

SEC FROM TRANSFORMER TO
SERVICE BY UTIL. CO.
APPROX. 100 FEET

3/4" PVC CONDUIT W/ #4 CU. GND.
TO ELECTRODE

1 SET OF (3) 2/0 AL.
W/ #6 CU. GND IN 2"
CONDUIT

GROUNDING ELECTRODE PER
DETAIL ON THIS SHEET

3

ELECTRICAL RISER
DETAIL

N.T.S.

SHEET TITLE

ELECTRICAL NOTES
AND RISER

PROJECT

RDC - OCOEE VILLAGE
CABANA

PHONE: 321.251.6006
3662 AVALON PARK/EAST BLVD.
SUITE 2072
ORLANDO, FL. 32828

CA#27371

DBSS INC.

DESIGN

DRAWN

SB

CHECKED

RD

JOB

RDC-OCOEE VILLAGE CABANA

SCALE

AS NOTED

DATE

11.30.2022

SHT

X

OF

X

E1

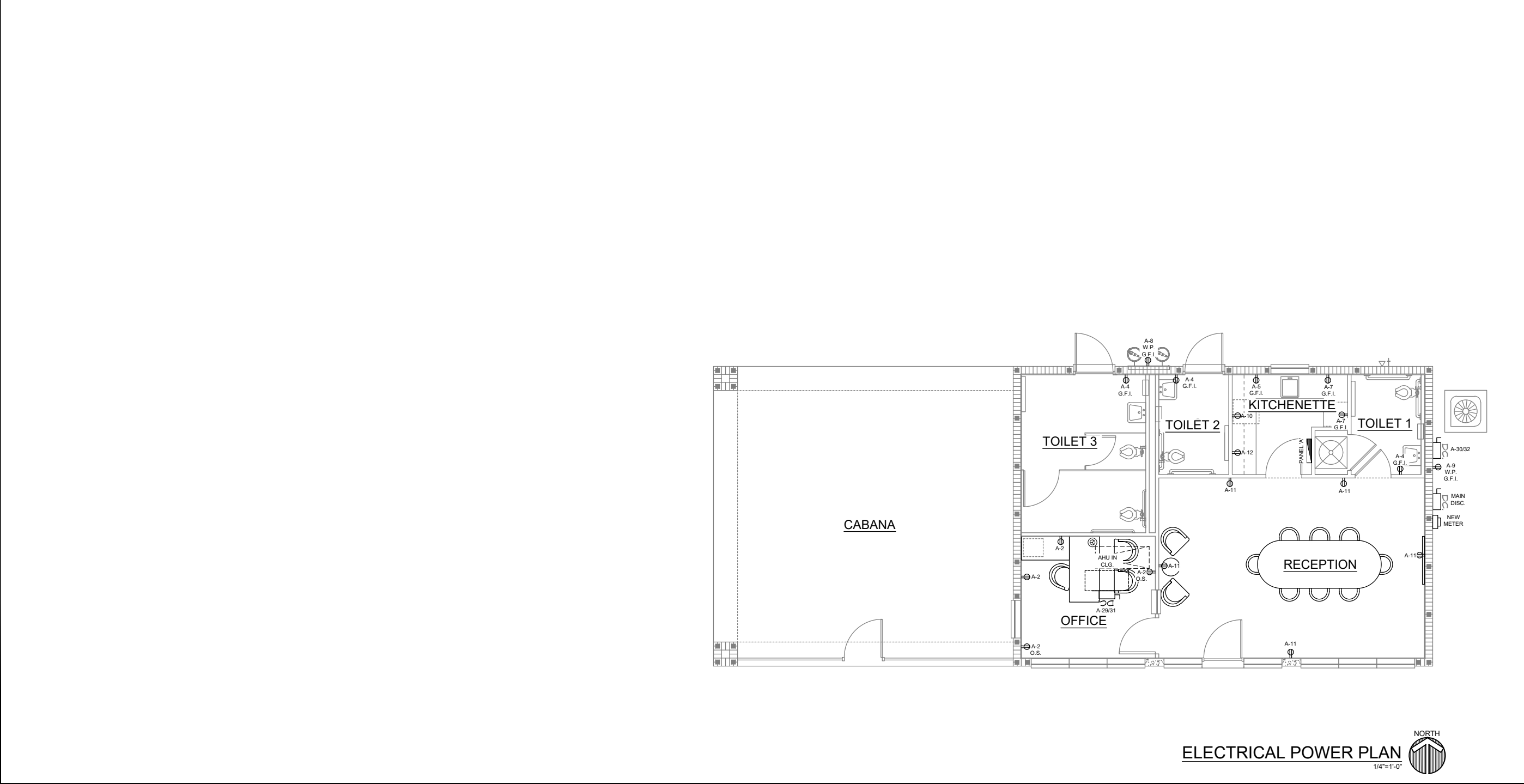
THIS ITEM HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY SCOTT A. M.
USING A DIGITAL SIGNATURE. PRINTED
COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND
THE SIGNATURE MUST BE VERIFIED ON
ANY ELECTRONIC COPY.

SCOTT A. SANTOMAURO, M.S.P.E.
FLORIDA REG. #65513

SCOTT A. SANTOMAURO
LICENSE
No. 65513
STATE OF
FLORIDA
PROFESSIONAL ELECTRICAL ENGINEER

ELECTRICAL LEGEND

	OUTLET 110-115
OS	OUTLET 110-115, w/ OCCUPANCY SENSOR
	QUAD, OUTLET 110-115
OS	QUAD, OUTLET 110-115, w/ OCCUPANCY SENSOR
G.F.I.	OUTLET 110-115, GROUND FAULT CIRCUIT INT.
WP G.F.I.	OUTLET 110-115, WATER PROOF G.F.I.
	JUNCTION BOX
	OUTLET 240 SPECIALTY
	DISCONNECT SWITCH
	ELECTRICAL PANEL
	OUTLET 110-115 CLG. MOUNTED



PROJECT

RDC - OCOEE VILLAGE
CABANA

CA#27371
PHONE: 321.251.6006
3662 AVALON PARK EAST BLVD.
SUITE 2072
ORLANDO, FL. 32828

--

11/11/2019

A circular professional engineer seal for Scott A. Santomauro. The outer ring contains the text "SCOTT A. SANTOMAURO" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle contains the text "STATE OF FLORIDA" on the right and "LICENSE No 65513" on the left, also separated by two stars.

SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513

DESCRIPTION

DATE _____

MECHANICAL SCOPE

- INSTALL NEW DUCTWORK PER PLAN.
- INSTALL NEW HEAT PUMP PER PLAN.
- INSTALL NEW AIR HANDLER PER PLAN.

MECHANICAL NOTES

[A] RESPONSIBILITIES

1.

ALL MECHANICAL WORK SHALL COMPLY WITH:
THE ASHRAE 90.1 2016,
THE 2020 FLORIDA BUILDING CODE, 7th EDITION,
THE 2020 FLORIDA BUILDING CODE - ENERGY CONSERVATON, 7th EDITION,
AND ALL LOCAL CODES AND ORDINANCES.

2.

THESE NOTES SHALL ONLY APPLY TO THE MECHANICAL SYSTEMS, UNLESS NOTED OTHERWISE.

3.

MECHANICAL CONTRACTOR TO VERIFY EXACT LOCATION OF ALL EQUIPMENT, AND FIXTURES WITH ALL OTHER CONSTRUCTION TRADES PRIOR TO INSTALLATION.

4.

ALL FABRICATION, MOUNTING AND INSTALLATION SYSTEMS AND SYSTEM COMPONENTS SHALL BE ACCORDING TO DETAILS CONTAINED IN THIS SET OF DRAWINGS.

5.

MECHANICAL CONTRACTOR SHALL PROVIDE THE OWNER WITH OPERATION AND MAINTENANCE MANUALS FOR ALL EQUIPMENT.

6.

MECHANICAL CONTRACTOR SHALL SUBMIT TO THE ARCHITECT, A TEST AND BALANCE REPORT OF ALL SYSTEMS AS PERFORMED BY OUTSIDE AGENCY CERTIFIED BY AABC, AS REQUIRED BY ASHRAE 111.

7.

MECHANICAL CONTRACTOR TO PROVIDE ECONOMIZER ON A/C UNITS TO MEET THE REQUIREMENTS OF ASHRAE 90.1 2016 SECTIONS 4.2.2 & 6.5.1.

8.

AN OPERATING MANUAL AND MAINTENANCE MANUAL MUST BE PROVIDED TO THE BUILDING OWNER. THE MANUALS SHALL INCLUDE AT A MINIMUM, THE FOLLOWING:

A.

SUBMITTAL DATA STATING EQUIPMENT RATING AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE.

B.

OPERATION MANUALS AND MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.

C.

NAMES AND ADDRESSES OF AT LEAST ONE QUALIFIED SERVICE AGENCY.

D.

A COMPLETE NARRATIVE OF HOW EACH SYSTEM IS INTENDED TO OPERATE.

[B] EQUIPMENT

1.

PROVIDE SMOKE DETECTOR IN SUPPLY DUCT FOR UNITS OVER 5 TONS. INSTALL PER MANUFACTURER SPECS AND INSTALLATION INSTRUCTIONS. ACTUATION OF SMOKE DETECTOR SHALL ACTIVATE A VISIBLE AND AN AUDIBLE SIGNAL IN AN APPROVED LOCATION AND SHALL PROVIDE KEYED RESET CAPABILITY.

2.

EACH ZONE SHALL BE PROVIDED WITH THERMOSTATIC SETBACK CONTROLS THAT ARE CONTROLLED BY EITHER AN AUTOMATIC TIME CLOCK OR PROGRAMMABLE CONTROL SYSTEM IAW ASHRAE 90.1 2016 SECTION 6.4.3.3.1.

3.

ALL CONDENSATE DRAIN LINES SHALL BE PVC AND INSTALLED WITH A "P" TRAP AT THE UNIT WITH A MINIMUM DEPTH OF 2".

[C] DUCTWORK

1.

ALL DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH SMACNA STANDARDS MOST CURRENT EDITION.

2.

DUCT SIZES SHOWN ARE MINIMUM INSIDE DIMENSION.

3.

ALL DUCTS, JOINTS, SEAMS AND CONNECTIONS SHALL BE CONSTRUCTED, SUPPORTED AND SEALED IN ACCORDANCE WITH THE LATEST SMACNA STANDARDS AND ASHRAE 90.1 2016 EDITION. USE STAPLES, GLASS FAB, AND MASTIC AS REQ'D.

4.

FLEXIBLE DUCTWORK SHALL BE ACOUSTICAL, LOW PRESSURE TYPE WITH INTERIOR LINER, METAL HELIX, FIBERGLASS AND COPOLYMER SEAMLESS OUTSIDE SLEEVE. THE ENTIRE FLEXIBLE DUCT ASSEMBLY SHALL BE LISTED IN ACCORDANCE WITH UL-181 CLASS 1 AIR DUCT MATERIAL. THE MAXIMUM LENGTH OF ANY FLEX DUCT SHALL BE 20'-0".

5.

EXHAUST DUCTWORK SHALL BE UN-INSULATED 28ga. GALVANIZED STEEL ROUND OR RECTANGULAR AS SHOWN UNLESS NOTED OTHERWISE. EXHAUST FAN OUTLETS SHALL BE INSTALLED A MINIMUM OF 10'-0" FROM FRESH INTAKES.

6.

MAIN DUCTWORK SHALL BE DUCTBOARD AND EXTERIOR INSULATED w/ MIN. R-6 INSULATION. DUCT INSULATION TO MEET ALL CRITERIA UNDER ASHRAE 90.1 2016 EDITION.

7.

FLEX DUCTWORK SHALL BE INSULATED TO MIN. R-6 INSULATION. INSULATION TO MEET ALL CRITERIA OF ASHRAE 90.1 2016 EDITION.

EXHAUST FAN SCHEDULE

MARK	EF-1	EF-2	EF-3
EXHAUST AIR (CFM)	80 CFM	80 CFM	100 CFM
FAN	TYPE	CENTRIFUGAL	CENTRIFUGAL
	MOUNTING	CEILING	CEILING
	DRIVE	DIRECT	DIRECT
MOTOR	HP OR WATTS	50 WATT	50 WATT
	VOLT/Ø	120V 1PH	120V 1PH
	CONTROL	WIRE TO LGT.	WIRE TO HUMIDISTAT
AREA SERVED	HCRR	UTILITY	TOILET
MANUFACTURER	BROAN	BROAN	BROAN
MODEL #	A80	A80	AE100
APPLICABLE NOTES	1 - 3	1 - 3	1 - 3
NOTES: 1. PROVIDE BACKDRAFT DAMPER 2. PROVIDE WALL / ROOF CAPS AS INDICATED ON PLANS 3. "OR EQUAL" SUBSTITUTES ALLOWED			

SPLIT AIR-CONDITIONER SCHEDULE

MARK	AHU-1 / HP-1	SYMBOL	MANUFACTURER	MODEL	TYPE	SIZE	MATERIAL	FINISH	THROW
NOMINAL COOLING CAP (MBTUH@AHRI)		A	HART COOLEY	300 SERIES	CD/SD	PER PLAN	ALUMINUM	WHITE	PER PLAN
NOMINAL TONS		R	HART COOLEY	650	RG	20"x14"	ALUMINUM	WHITE	N/A
SUPPLY AIR (CFM)		R1	HART COOLEY	650	RG	PER PLAN	ALUMINUM	WHITE	N/A
OUTSIDE AIR (CFM)		T1	HART COOLEY	650	TG	16"x8"	ALUMINUM	WHITE	
EXTERNAL STATIC PRESS. (IN WTR.)									
EVAPORATOR FAN	HP	1/2	LEGEND: CD = CEILING DIFFUSER OAI = OUTSIDE AIR INTAKE SD = SIDEWALL DIFFUSER TG = TRANSFER GRILLE RAG = RETURN AIR						
	FLA	1.5							
ELECTRIC HEAT	KW	5	GENERAL OUTSIDE AIR CALCULATIONS						
COMPRESSOR	QUANTITY	1	CALCUALTIONS BASED ON THE 2020 FBC 7th EDITION - MECHANICAL - BREATHING ZONE METHOD, SECTION 403						
	RLA / LRA	14.1/73.0	WHERE: Vbz = BREATHING ZONE OUTDOOR AIR FLOW Ra = OA FLOW RATE / UNIT AREA Rp = OA/PERSON Az = ZONE FLOOR AREA Pz = ZONE POPULATION						
AREA SERVED		CLUBHOUSE	ROOM(S) NAME(S)	AREA (SQ. FT.)	AREA HEIGHT (FT.)	OCCUPANCY CATEGORY	Ra x Az	Rp x Pz	EXHAUST REQ'D.
COMPRESSOR [HEAT PUMP]	MANUFACTURER	CARRIER	RECEPTION	335	8	OFFICE	0.06 x 335	20.1	N/A
	MODEL	25HBC530	OFFICE	113	8	OFFICE	0.06 x 113	6.78	N/A
	VOLT / PHASE	230V / 1PH							90
	MAX. CIRCUIT AMPACITY	18.1							90
	MAX. HACR BREAKER	30							90
AIR HANDLER	WEIGHT (LBS)	196	AHU-1	90					
	MANUFACTURER	CARRIER							
	MODEL	FB4CNF030							
	VOLT / PHASE	230 / 1PH							
	MAX. CIRCUIT AMPACITY	31.2							
MINIMUM SEER	MAX. HACR BREAKER	35							
	WEIGHT (LBS)	122							
	SQ. FT	587							

MECHANICAL NOTES

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SCOTT A. SANTOMAURO, M.S., P.E. USING A DIGITAL SIGNATURE PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513

MECHANICAL NOTES

RDC - OCOEE VILLAGE CABANA

CA#27371
PHONE: 321.251.6006
3662 AVALON PARK/EAST BLVD.
SUITE 2072
ORLANDO, FL. 32828

DBSS INC.

PROJECT

DESIGN

CHECKED RD

JOB RDC-OCOEE VILLAGE CABANA

SCALE AS NOTED

DATE 11.30.2022

SHT X OF X

STATE OF FLORIDA

SCOTT A. SANTOMAURO

PROFESSIONAL ENGINEER

STATE OF FLORIDA

SCOTT A. SANTOMAURO

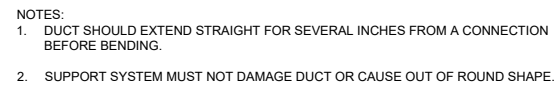
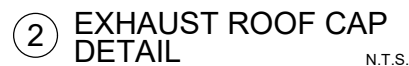
PROFESSIONAL ENGINEER

DATE

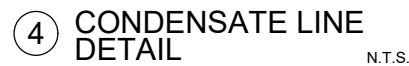
DESCRIPTION

REV.

M1



③ FLEX DUCT SUPPORT DETAIL



5 HEAT PUMP FASTENING
DETAIL N.T.S.

[illegible]

SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513



MECHANICAL DETAILS

PHONE: 321.251.6006
3662 AVALON PARK EAST BLVD.
SUITE 2072
ORLANDO, FL. 32828

DBS **INC.****DBS** **INC.**

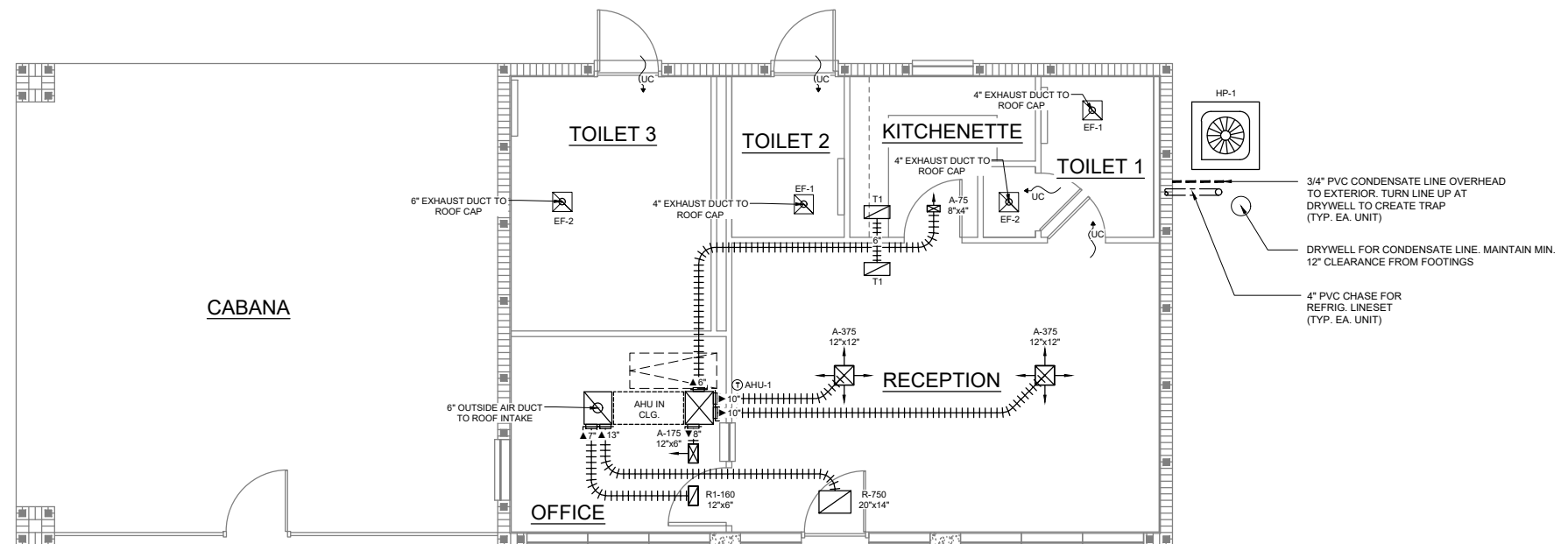
DESIGN	DRAWN	SB
CHECKED	RD	
JOB RDC-OCOE VILLAGE CABANA		
SCALE	AS NOTED	
DATE	11.30.2022	

M2

— 100 —

HVAC SYMBOL LEGEND

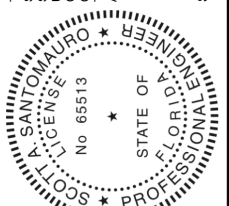
SYMBOL	DESCRIPTION
	SUPPLY DIFFUSER
	RETURN GRILLE
	NEW FLEX DUCTWORK
	DIGITAL THERMOSTAT
A-300	DIFFUSER/AIRFLOW CFM
	CLG. EXHAUST FAN
 UC	PROVIDE A MIN. 1" UNRESTRICTED DOOR UNDERCUT TO ACHIEVE A PROPER RETURN AIR BALANCE.



MECHANICAL PLAN
1/4"=1'-0"



THIS ITEM HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY SCOTT A.
SANTOMAURO ON 1/20/2023 3:41 PM
USING A DIGITAL SIGNATURE. PRINTED
COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED ON
THE SIGNATURE MUST BE VERIFIED ON
ANY ELECTRONIC COPY.



SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513

SHEET TITLE

MECHANICAL PLAN

CA#27371
PHONE: 321.251.6006
3362 AVALON PARK EAST BLVD.
SUITE 2072
ORLANDO, FL: 32828

DBS
INC.**DBS**
INC.**DBS**
INC.

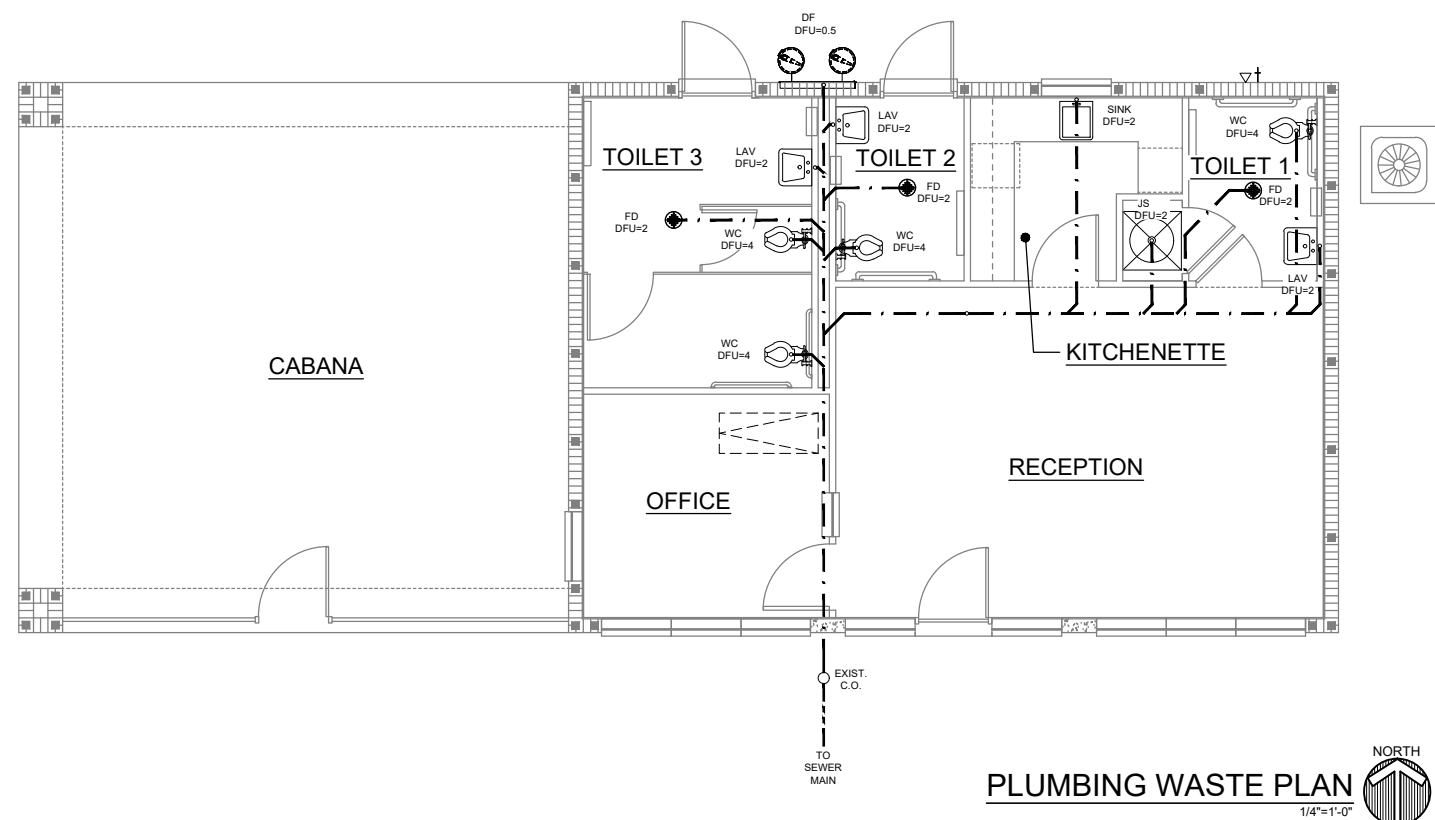
DESIGN	DRAWN	SB
CHECKED RD		
JOB RDC-OCOE VILLAGE CABANA		
SCALE AS NOTED		
DATE 11.30.2022		

SHT X OF X

M3

WASTE PIPING LEGEND

SYMBOL	DESCRIPTION
	NEW SANITARY LINE
	EXISTING SANITARY LINE



PLUMBING WASTE PLAN

SHEET TITLE

PLUMBING WASTE PLAN

CA#27371
PHONE: 321.251.6006
3862 AVALON PARK EAST BLVD.
SUITE 2072
ORLANDO, FL. 32828

DBS
INC.**DBS**
INC.

DESIGN	DRAWN	SB
CHECKED RD		
JOB	RDC-OCOE VILLAGE CABANA	
SCALE	AS NOTED	
DATE	11.30.2022	

DESIGN	DRAWN
	SB

CHECKED	RD
---------	----

JOB	RDC-OCOEE VILLAGE CABANA
-----	--------------------------

SCALE AS NOTED

DATE	11.30.2022
------	------------

SHT X OF X

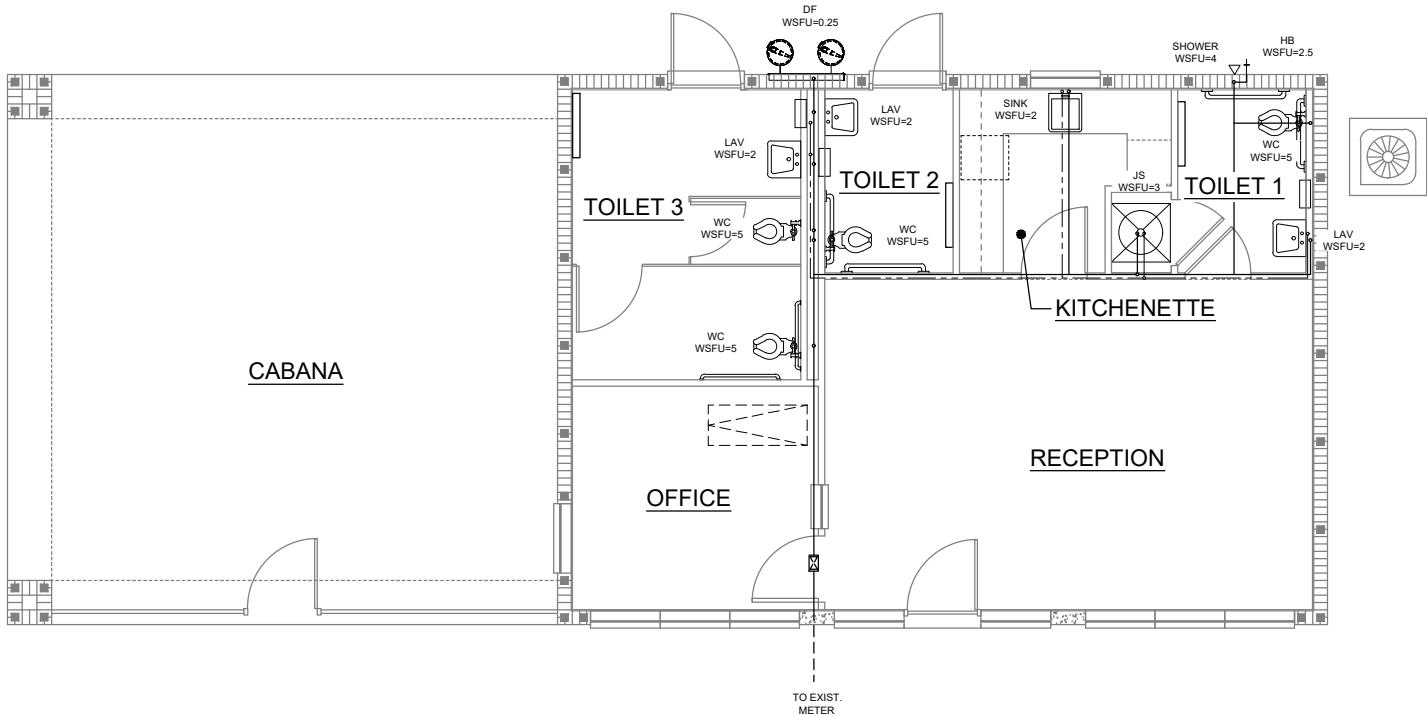
P2

THIS ITEM HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY SCOTT A.
SANTOMAURO ON 1/20/2023 3:44 PM
USING A DIGITAL SIGNATURE. PRINTED
COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND
THE SIGNATURE MUST BE VERIFIED ON
ANY ELECTRONIC COPY.



SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513

SUPPLY PIPING LEGEND	
SYMBOL	DESCRIPTION
	CW SUPPLY LINE
	HW SUPPLY LINE
	SHUTOFF



PLUMBING SUPPLY PLAN
1/4"=1'-0" 

PROJECT		SHEET TITLE		REV.		DESCRIPTION		DATE	
RDC - OCOEE VILLAGE CABANA		PLUMBING SUPPLY PLAN							
DESIGN		DRAWN							
CHECKED		RD							
JOB		RDC-OCOEE VILLAGE CABANA							
SCALE		AS NOTED							
DATE		11.30.2022							
SHT		X OF X							
		P3							

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SCOTT A. SANTOMAURO, M.S., P.E. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

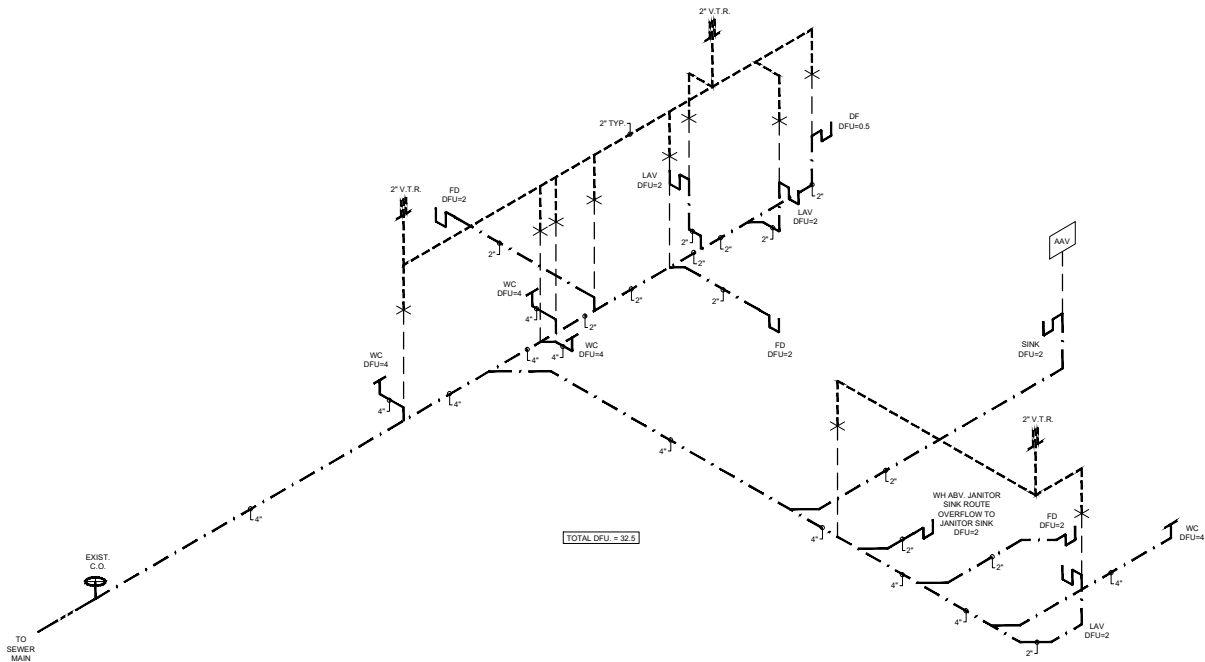


SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513

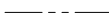
CA#27371
PHONE: 321.251.6006
3662 AVALON PARK EAST BLVD.
SUITE 2072
ORLANDO, FL. 32828

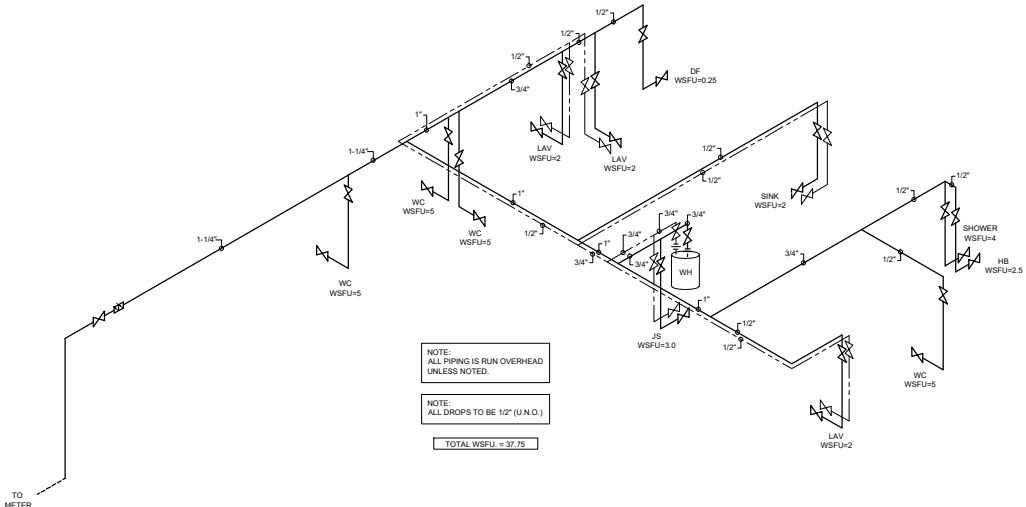


WASTE PIPING LEGEND	
SYMBOL	DESCRIPTION
	NEW SANITARY LINE
	EXISTING SANITARY LINV



PLUMBING WASTE RISER
N.T.S.

SUPPLY PIPING LEGEND	
SYMBOL	DESCRIPTION
	CW SUPPLY LINE
	HW SUPPLY LINE
	SHUTOFF



PLUMBING SUPPLY RISER
N.T.S.

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SCOTT A. SANTOMAURO, M.S.P.E. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.	
SCOTT A. SANTOMAURO, M.S.P.E. FLORIDA REG. #65513	
SCOTT A. SANTOMAURO No 65513 STATE OF FLORIDA PROFESSIONAL ENGINEER	
SHEET TITLE PLUMBING RISERS	
PROJECT RDC - OCOEE VILLAGE CABANA	
CA#27371 PHONE: 321.251.6006 3662 AVALON PARK EAST BLVD. SUITE 2072 ORLANDO, FL. 32828	
DBSS INC.	
DESIGN	DRAWN
CHECKED	RD
JOB	RDC-OCOEE VILLAGE CABANA
SCALE	AS NOTED
DATE	11.30.2022
SHT	X OF X
P4	

GENERAL NOTES

DESIGN REQUIREMENTS

DESIGN LIVE LOADS(MINIMUM):
A. ROOFS - 20 PSF

WIND DESIGN LOAD INFORMATION-
(PER 2020 FBC, 7th EDITION, CH. 16, REF. ASCE 7-16)
BASIC WIND SPEED (V_{ult}) = 140 MPH (3 SECOND GUST)
(V_{msl}) = 108 MPH (3 SECOND GUST)
BUILDING CATEGORY = II (ASCE 7-16)
WIND EXPOSURE(ALL SIDES) =B (ASCE 7-16)
INTERNAL PRESSURE COEFFICIENTS (ASCE 7-16)
ENCLOSED BUILDINGS = +/-0.18
PARTIALLY ENCLOSED BUILDINGS = +/-0.55
(NOTE: COEFFICIENTS FOR PARTIALLY ENCLOSED STRUCTURES ARE APPLIED WHEN DESIGN OF MEMBER(S) FALLS UNDER ASCE 7-16 DEFINITIONS CLASSIFYING AS SUCH)

ALL WALL COMPONENTS AND CLADDING SHALL BE DESIGNED TO WITHSTAND THE FOLLOWING PRESSURES (p_{msl}):

WALL C&C WIND PRESSURES (Pasd)			
a (FT)	A (S.F.)	ZONE ④ P.S.F.	ZONE ⑤ P.S.F.
5'-0"	≤10	+ 21.2 - 23.0	+ 21.2 - 28.4
	20	+ 20.2 - 22.0	+ 20.2 - 26.4
	50	+ 19.0 - 20.8	+ 19.0 - 23.9
	≥100	+ 18.0 - 19.8	+ 18.0 - 22.0

ROOF C&C WIND PRESSURES (Pasd)					
a (FT)	A (S.F.)	ZONE ① P.S.F.	ZONE ①' P.S.F.	ZONE ② P.S.F.	ZONE ③ P.S.F.
3'-0"	≤10	+ 8.6 - 33.7	+ 8.6 - 19.4	+ 8.6 - 44.5	+ 8.6 - 60.6
	20	+ 8.0 - 31.5	+ 8.0 - 19.4	+ 8.0 - 41.6	+ 8.0 - 54.9
	50	+ 7.4 - 28.6	+ 7.4 - 19.4	+ 7.4 - 37.8	+ 7.4 - 47.3
	≥100	+ 6.8 - 26.3	+ 6.8 - 19.4	+ 6.8 - 35.0	+ 6.8 - 41.6

FOUNDATION NOTES

- SOIL TO BE COMPACTED TO AT LEAST 95% UNDER SLABS AND 98% UNDER FOOTINGS OF MAX. DRY DENSITY AS DETERMINED BY ASTM- 1557 (MODIFIED PROCTOR)
- THE FOUNDATION OF THIS STRUCTURE HAS BEEN DESIGNED TO AN ALLOWABLE BEARING CAPACITY OF 2000 PSF. IT IS THE OWNER/ CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING SITE WILL MEET THIS STANDARD WITH REGARDS TO SETTLEMENT AND SUPPORT.
- PROVIDE TERMITE TREATED SOIL IN ACCORDANCE W/ SECTION 1816 OF THE FLORIDA BUILDING CODE. IN LIEU OF TREATING THE SOIL, BORA-CARE TERMITICIDE MAY BE APPLIED TO WOOD COMPONENTS IN ACCORDANCE TO W/MANUFACTURER'S INSTRUCTIONS, PURSUANT TO SECTION 1816 OF THE FLORIDA BUILDING CODE.

CAST IN PLACE CONCRETE

- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI (FOUNDATIONS) AND 4000 PSI (COLUMNS/BEAMS), A SLUMP OF 4" PLUS OR MINUS 1", AND HAVE 2 TO 4% AIR ENTRAINMENT, AND A MAXIMUM WATER/CEMENT RATIO OF 0.58.
- ALL REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO ASTM A-615 GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 FOR 6x6xW1 4xW1 4 WWF SHALL BE LAPPED AT LEAST 6" & CONTAIN AT LEAST ONE CROSS WIRE WITHIN THE 6". FIBERMIX OF EQUAL SPECIFICATIONS MAY BE USED IN LIEU OF WWF.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH "THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI 318 LATEST EDITION, AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," ACI 301.
- HORIZONTAL FOOTING BARS SHALL BE BENT MIN. 48 BAR DIAMETERS (EXCLUDING BEND) AROUND CORNERS OR #5 CORNER BARS WITH MIN. 30" LAP EXCLUDING BEND AT EACH END SHALL BE PROVIDED.
- MINIMUM LAP SPLICES ON ALL REINFORCING BARS SHALL BE 48 BAR DIAMETERS.

BOLTS AND THREADED RODS

- ALL BOLTS & THREADED RODS TO BE ASTM A307 OR BETTER (U.N.O.)

FIELD REPAIR NOTES

- DRILL A 3/4" DIAMETER HOLE MIN. 6" DEEP AT THE LOCATION OF THE OMITTED REBAR, AND INSTALL NO. 5 BAR INTO EPOXY FILLED HOLE EPOXY TO BE SIMPSON STRONG TIE EPOXY OR EQUIVALENT. FOLLOW MANUFACTURE'S INSTRUCTIONS. ASSURE THAT ALL DUST AND DEBRIS FROM DRILLING ARE REMOVED FROM HOLE BY USING COMPRESSED AIR PRIOR TO APPLYING EPOXY. ALLOW EPOXY TO CURE TO MANUFACTURER'S SPECIFICATIONS, THEN FILL CELL IN THE NORMAL WAY DURING BOND BEAM POUR. USE 25" MIN. LAP SPLICE. HOOKS AT TOP OF BAR TO BE MIN. 12 BAR DIAMETERS(EXCLUDING BEND).
- FOR MORTAR JOINTS LESS THAN 1/4", PROVIDE (1)#5 VERT. IN CONC. FILLED CELL EA. SIDE OF JOINT (BAR DOES NOT HAVE TO BE CONT. TO FTG.)

PREFABRICATED WOOD TRUSSES

- ALL PREFABRICATED WOOD TRUSSES SHALL BE SECURELY FASTENED TO THEIR SUPPORTING WALLS OR BEAMS WITH HURRICANE CLIPS OR ANCHORS.
- TRUSSES SHALL BE DESIGNED BY MWFRS METHODOLOGY FOR LONG SPAN TRUSSES TO DETERMINE UPLIFT AND REACTION VALUES. MEMBER AND PLATE DESIGN TO BE CALCULATED BY COMPONENTS AND CLADDING METHOD UNLESS SPECIFIED OTHERWISE BY TRUSS ENGINEER OF RECORD
- PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENERS" AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- TRUSS MEMBERS AND CONNECTIONS SHALL BE PROPORTIONED (WITH A MAXIMUM ALLOWABLE STRESS INCREASE FOR LOAD DURATION OF 25%) TO WITHSTAND DESIGN LOADS.
- BRIDGING FOR PRE-ENGINEERED TRUSSES SHALL BE AS REQUIRED BY TRUSS MANUFACTURER UNLESS NOTED ON PLANS
- TRUSS ELEVATIONS AND SECTIONS ARE FOR GENERAL CONFIGURATION OF TRUSSES ONLY. WEB MEMBERS ARE NOT SHOWN, BUT SHALL BE DESIGNED BY TRUSS MANUFACTURER IN ACCORDANCE WITH THE DESIGN LOADS.

TRUSS DESIGN LOADS :
TOP CHORD : LL = 20 PSF
(TRUSS MNF. MAY TAKE REDUCTION FOR 6:12 SLOPES OR GREATER)
DL = 10 PSF
DL = 14 PSF AT OVERBUILT
BOTTOM CHORD : LL = 10 PSF
BOTTOM CHORD : DL = 10 PSF
WIND LOAD : SEE DESIGN REQUIREMENTS
- THE TRUSS MANUFACTURER SHALL DETERMINE ALL SPANS, WORKING POINTS, BEARING POINTS, AND SIMILAR CONDITIONS. TRUSS SHOP DRAWINGS SHALL SHOW ALL TRUSSES, ALL BRACING MEMBERS, AND ALL TRUSS TO TRUSS HANGERS.
- PROVIDE ADDITIONAL BRACING AND BLOCKING PER BCSI-1-03 AND TRUSS MANUFACTURER'S DRAWINGS

WOOD CONSTRUCTION

- WOOD CONSTRUCTION SHALL CONFORM TO THE NFPA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", LATEST EDITION.(NDS)
- ALL EXTERIOR WOOD STUD WALLS, BEARING WALLS, SHEAR WALLS AND MISC. STRUCTURAL WOOD FRAMING MEMBERS (I.E. BLOCKING OR GABLE END BRACING) SHALL BE SPRUCE PINE FIR OR EQUIVALENT. NO. 2 GRADE SHALL BE USED REGARDLESS OF SPECIES.
- ALL 2X8's OR DEEPER MEMBERS TO BE SOUTHERN PINE NO. 2 GRADE
- ALL ROOF FRAMING MEMBERS (I.E. TOP & BOTTOM CHORD, WEBS) TO BE SOUTHERN PINE NO. 2 GRADE U.N.O.
- PRESERVATIVE-TREATED WOOD WITH FIELD-CUT ENDS, NOTCHES AND DRILLED HOLES SHALL BE FIELD TREATED IN ACCORDANCE WITH AWPA M4
- USE OF PRESERVATIVE-TREATED WOOD OR NATURAL DURABLE WOOD SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS PER FBCR R317:

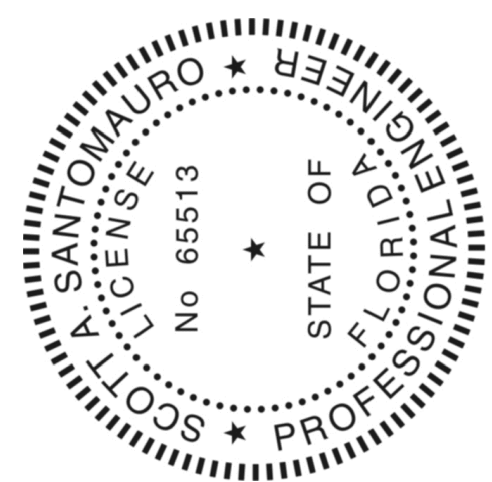
A. JOISTS WHEN CLOSER THAN 18" OR GIRDERS CLOSER THAN 12" FROM GRADE
B. FRAMING MEMBERS THAT REST ON CONCRETE OR MASONRY EXTERIOR FOUNDATIONS LESS THAN 8" FROM GRADE
C. SILLS AND SLEEPERS ON CONCRETE SLAB THAT IS IN DIRECT CONTACT WITH THE GROUND (UNLESS SEPARATED BY MOISTURE BARRIER)
D. ENDS OF GIRDERS ENTERING CONCRETE OR MASONRY WALLS HAVING CLEARANCES OF LESS THAN 1/2" ON TOPS, SIDES AND ENDS
E. SIDING, SHEATHING AND WALL FRAMING ON EXTERIOR OF BUILDING HAVING LESS THAN 6" FROM GRADE OR 2", MEASURED VERTICALLY, FROM CONCRETE SLAB, STEP OR SIMILAR HORIZONTAL SURFACE EXPOSED TO WEATHER
F. FURRING STRIPS OR FRAMING MEMBERS ATTACHED DIRECTLY TO THE INTERIOR SIDE OF THE EXTERIOR MASONRY OR CONCRETE WALLS BELOW GRADE (UNLESS SEPARATED BY MOISTURE BARRIER)
G. MEMBERS IN CONTACT WITH GROUND OR EMBEDDED IN CONCRETE EXPOSED TO WEATHER SHALL BE APPROVED PRESSURE-PRESERVATIVE-TREATED WOOD SUITABLE FOR GROUND CONTACT
H. MEMBERS EXPOSED TO WEATHER WITHOUT ADEQUATE PROTECTION FROM A ROOF, EAVE, OVERHANG OR OTHER COVERING THAT WOULD PREVENT MOISTURE ACCUMULATION ON THE SURFACE OR JOINTS BETWEEN MEMBERS

*NOTE: USE PRESERVATIVE-TREATED LUMBER OR A MOISTURE BARRIER FOR ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY.

MASONRY WALL CONSTRUCTION

- HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, GRADE N, TYPE 2, CONFORMING TO ASTM C90, WITH A MINIMUM NET COMPRESSIVE STRENGTH OF 2000 PSI (f_m = 1500 PSI)
- MORTAR SHALL BE TYPE M OR S, CONFORMING TO ASTM C270
- HEAD MORTAR JOINTS AT PRECAST WINDOW SILLS TO BE NO MORE THAN 1".
- COARSE GROUT SHALL CONFORM TO ASTM C476 WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
- VERTICAL REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS WITH CELLS FILLED WITH COARSE GROUT.
- VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM AND AT A MAXIMUM SPACING OF 8'-0" U.N.O. REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL TYPICAL UNLESS OTHERWISE NOTED.
- REINFORCING STEEL SHALL BE LAPPED MINIMUM 25" UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- HOOKS AT TOP & BOTTOM OF VERTICAL REINFORCING BARS TO BOND BEAM AND FOOTING TO BE NO LESS THAN 12 BAR DIAMETERS EXCLUDING BEND
- EXPANSION TYPE ANCHORS ARE NOT TO BE USED IN BOND BEAM (U.N.O). EMBEDDED ANCHORS OR EPOXY FASTENED STUDS SHALL BE USED (U.N.O.)

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SCOTT A. SANTOMAURO ON 1/23/2023 10:39 AM USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.



SHEET TITLE
STRUCTURAL NOTES

PROJECT
RDC - OCOEE VILLAGE
CABANA

CA#27371
PHONE: 321.251.6006
3662 AVALON PARK EAST BLVD.
SUITE 207
ORLANDO, FL. 32828



DESIGN	DRAWN	SB
CHECKED	RD	
JOB	RDC-OCOEE VILLAGE CABANA	
SCALE	AS NOTED	
DATE	11.30.2022	

REV.	DESCRIPTION	DATE

SCOTT A. SANTOMAURO, M.S.,P.E.
FLORIDA REG #65513

FOUNDATION NOTES:

1. PROVIDE MIN. 6 MIL. APPROVED VAPOR BARRIER. ALL JOINTS TO BE LAPPED MIN. 6" AND SEALED.
2. PROVIDE 3-1/2" CONC. SLAB W/ 6x6xw1.4xw1.4 WELDED WIRE MESH PLACED AT MID DEPTH ON 6 MIL. VAPOR BARRIER ON 4" MIN. TERMITES TREATED COMPACTED FILL (FIBER MESH MAY BE USED ILO WWM, WHEN FIBER MESH, MEETS OR EXCEEDS SPECIFICATIONS SET FORTH IN THE FBC 2020 7TH EDITION).
3. VERT. #5 BAR TO BE HOOKED AT TOP & BOTTOM (FTG. & BOND BEAM ENDS) W/MIN. 12 BAR DIAMETER LEGS EXCLUDING BEND @ EA. END. LAP SPLICES SHALL BE NO LESS THAN 25".
4. CONSULT W/MAN. SPECIFICATIONS PRIOR TO POURING OR RECESSING DOOR SILLS.
5. EXTERIOR SLABS SHALL SLOPE 1/4" PER FOOT AWAY FROM STRUCTURE.
6. CONTROL JOINTS (IF SHOWN) ARE NOT REQUIRED BY CODE BUT ARE SUGGESTED (ESPECIALLY WHEN USING FIBER REINF. CONC.) CONTROL JOINTS TO BE SAW CUT A DEPTH OF 1/4 OF THE THICKNESS OF THE SLAB (BETWEEN 4 TO 12 HOURS AFTER FINISH) FILL CUT W/ APPROVED JOINT MATERIAL OR USE ALTERNATE APPROVED METHOD.

■ INDICATES GROUT FILLED CELL WITH (1) VERT. #5 CONT. FTG. TO BOND BEAM (4'-0" O.C. MAX U.N.O.)(REFER TO NOTES)

FOOTING SCHEDULE	
1	32"x32"x16"d CONC. PAD W/ (4) #5'S E. W.

- INDICATES GROUT FILLED CELL WITH (1) VERT. #5 CONT. FTG. TO BOND BEAM (4'-0" O.C. MAX U.N.O.)(REFER TO NOTES)

32"x32"x16"d CONC. PAD W/ (4) #5'S E. W.


$$1/4" = 1' - 0"$$

A circular professional engineer seal for Scott A. Santomauro. The outer ring contains the text "SCOTT A. SANTOMAURO" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle contains the text "LICENSE NO. 65513" on the left and "STATE OF FLORIDA" on the right, also separated by two stars.

DESCRIPTION

REV.

CA#27371
PHONE: 321.251.6006
662 AVALON PARK EAST BLVD.
SUITE 2072
ORLANDO, FL. 32828

SHT X OF X

S1

BEAM SCHEDULE				
TAG	MEMBER	FASTENER	QTY & SPACING	BOT OF BEAM
BM-1	(3) 1-3/4" X 20" LVL (FB=3100-2.0E)	DTL. 6/SD2	DTL. 6/SD2	PER PLAN
NOTE: 1. 2-PLY BEAMS: INSTALL NAILS IN LOADED PLY WHEN APPLICABLE 2. 3-PLY BEAMS: INSTALL NAILS FROM BOTH SIDES PER SPACING ABOVE 3. NAILS: 10d = 0.148 x 3", 16d = 0.162 x 3-1/2" 4. NAILS FASTENED IN PRESERVATIVE-TREATED WOOD OR FIRE-RETARDANT-TREATED WOOD SHALL BE HOT DIPPED ZINC-COATED GALVANIZED STEEL OR STAINLESS STEEL.				

FRAMING NOTES:

- THE ROOF PLAN DEPICTED IS NOT INTENDED TO SERVE AS A TRUSS DESIGN.
- TOP PLATE HEIGHTS VARY. SEE BUILDING SECTIONS, WALL SECTIONS AND ELEVATIONS FOR BEARING HEIGHTS.
- TRUSS SPACING SHALL BE 24" O.C. MAX. UNLESS OTHERWISE NOTED. CONVENTIONAL FRAMING SHALL BE 16" O.C. MAX. OR AS OTHERWISE NOTED.
- FRAME WALLS UP TO UNDERSIDE OF ROOF TRUSSES AT ALL NON-BEARING WALLS AND AT VOLUME AREA UNLESS NOTED OTHERWISE.
- ALIGN TRUSSES AND HAND FRAMING SO ALL GYPSUM WALL BOARD WILL BE CONTINUOUS FROM FLOOR TO CEILING.
- TRUSS MANUFACTURER TO INSURE DESIGN CONSIDERATION TO THE FOLLOWING ADDITIONAL LOADS:
A) ALL CEILING HUNG SOFFITS AND SOFFITS WITH CABINETS AS SHOWN ON PLANS.
B) ATTIC LOCATED HVAC UNITS AS SHOWN ON PLANS.
- REFER TO MANUFACTURER SPECIFICATIONS FOR INSTALLATION REQUIREMENTS OF ALL HARDWARE BEFORE INSTALLATION.
- PROVIDE BRACING AND BLOCKING PER BCSI-1-03 IN ADDITION TO BRACING AND BLOCKING SHOWN ON PLANS.
- GC TO VERIFY OVERHANGS, SLOPES, AND OTHER TRUSS GEOMETRY BEFORE TRUSS PURCHASE.

SHEATHING:

ROOFS:
ROOF SHEATHING TO BE 7/16" O.S.B. OR 15/32" (MIN.) PLYWOOD. REFER TO DETAIL 2 SHEET SD1 FOR NAILING PATTERN SHEATHING TO BE PLACED WITH LONG DIMENSION PERPENDICULAR TO SUPPORTS (TRUSSES). PROVIDE PLY CLIPS @24" O.C. MAX. AT ALL UNSUPPORTED ROOF SHEATHING JOINTS. 2x4 BLOCKING, w/ (2) 10d NAILS EA. END, SHALL BE USED @ALL UNSUPPORTED HIP AND RIDGE AREAS.

SIDEWALL:
ALL SHEATHING TO BE MIN. 15/32" PLYWOOD OR 7/16" O.S.B. AND SHALL BE NAILED WITH (2)ROWS @ 3" O.C. AT TOP AND (1)ROW AT BOTTOM OF WALL. 6" O.C. ALL OTHER EDGES AND 12" IN FIELD. BLOCKING SHALL BE PLACED AT ALL SHEATHING JOINTS.

GABLE ENDS:
ALL SHEATHING TO BE MIN. 15/32" PLYWOOD OR 7/16" O.S.B. AND SHALL BE NAILED 6" O.C. ON EDGES AND 12" IN FIELD. BLOCKING SHALL BE PLACED AT ALL SHEATHING JOINTS.

NAILS:
NAILS USED IN ALL SHEATHING APPLICATIONS SHALL BE MIN. 8d RING-SHANK (MIN. 0.113 SHANK DIA.) HAND OR GUN DRIVEN NAILS W/ HEAD SIZE OF 0.28" MIN. WHERE THE SHEATHING THICKNESS IS 15/32 INCHES AND LESS, SHEATHING SHALL BE FASTENED WITH 2-3/8"x0.113" NAILS. WHERE THE SHEATHING THICKNESS IS GREATER THAN 15/32 INCHES, SHEATHING SHALL BE FASTENED WITH 2-1/2"x0.131" NAILS.

SIMPSON HARDWARE NOTES:

- SEE "INSTRUCTIONS TO THE INSTALLER" IN SIMPSON STRONG-TIE WOOD CONSTRUCTION CONNECTOR'S CURRENT MANUAL & READ ALL PAGES OF GENERAL NOTES.
- FILL ALL HOLES IN STRAPS (U.N.O.) TYPICAL TO OBTAIN MAXIMUM UPLIFT.
- FOR MISLOCATED EMBEDDED ANCHOR GREATER THAN 1/8" BUT LESS THAN 1-1/2" FROM FACE OF TRUSS / RAFTER, INSTALL WOOD SHIMS AND USE 10dX3" NAILS IN LIEU OF 10dX1-1/2" NAILS (MATCH QTY. OF FASTENERS) OR PROVIDE NEW ANCHOR PER NOTE 4.
- FOR MISLOCATED EMBEDDED ANCHOR MORE THAN 1-1/2" FROM FACE OF TRUSS/ RAFTER, SIMPSON MTSM16 MAY BE FASTENED TO BOND BEAM W/ (4)1/4"x2-1/4" TAPCONS AND (7)10dX1-1/2" NAILS TO TRUSS. THIS IS GOOD FOR UP TO 875 LBS. OF UPLIFT. (2)MTSM16s CAN BE USED FOR UPLIFT TO MAX. 1,750 LBS.

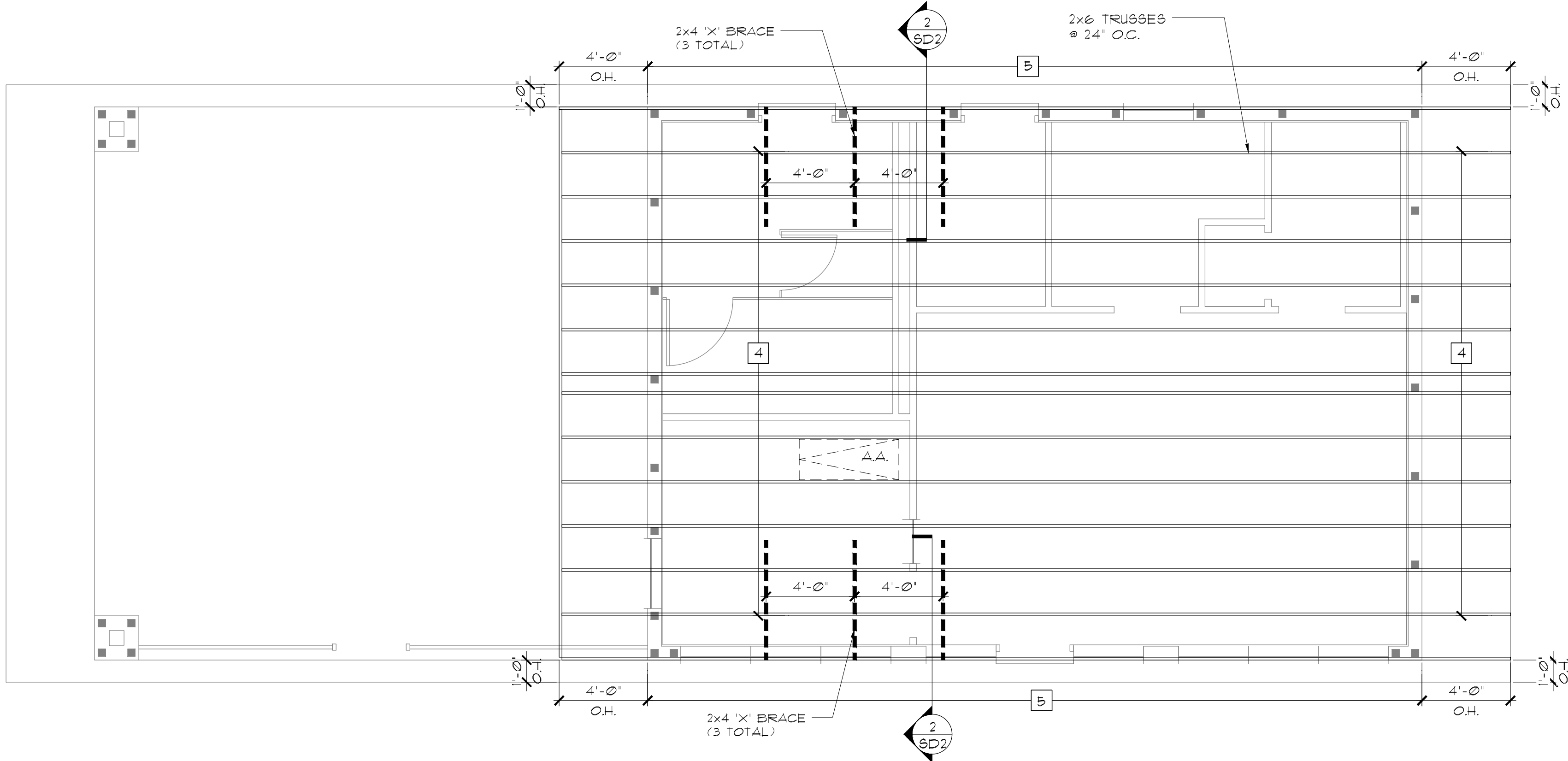
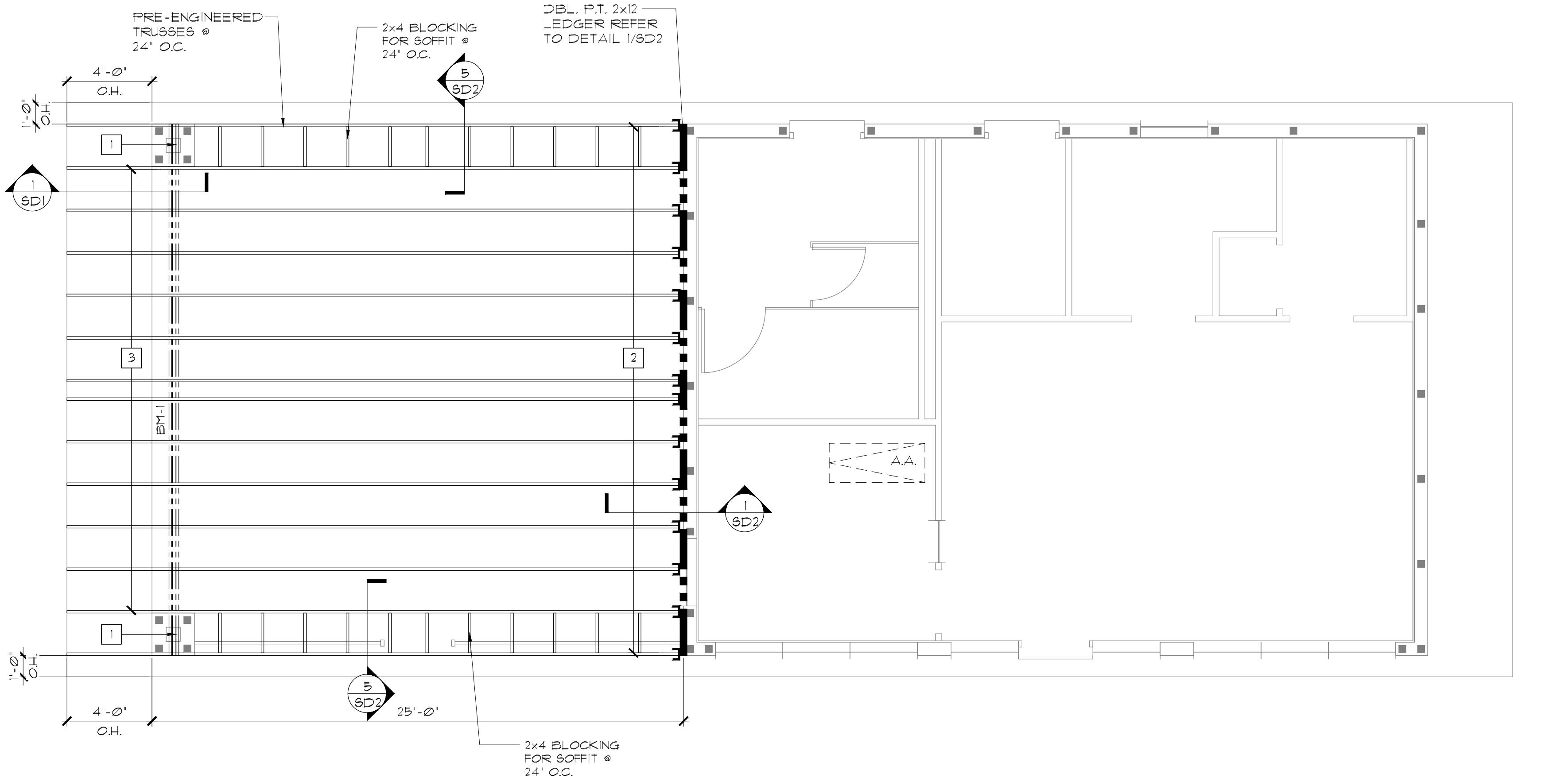
CONNECTOR LEGEND

- ALL TRUSS TO FRAME CONN. TO BE H10A (USE H10-2 FOR 2-PLY) (U.N.O.)
- ALL TRUSS TO TRUSS CONN. DESIGN BY TRUSS MANUF.
- ALL TRUSS TO MASONRY CONN. TO BE SIMPSON META16 (U.N.O.)

1	(2) META BEAM TO CMU WALL/COLUMN
2	H10A OR MTS16
3	HTS20
4	META16 TRUSS TO WALL
5	HGA10KT 6" FROM ENDS & @32" O.C. (USE HGAM10KTA's FOR CMU/ CONC.)

PRODUCT APPROVAL CHART

SIMPSON CONNECTOR	FLORIDA PRODUCT APPROVAL #
H10A	FL10446.7, 10456.3
H1	
H10-2	
H2.5A	FL10456.3
H3	
H4	
HTS (ALL)	FL10456.6
LTS (ALL)	FL10456.7
MTS (ALL)	FL10456.8
SSP	FL10446.2
ABA (ALL)	FL10860.2
HGA10	FL10446.8
LTT19	FL11496.7
LSTA (ALL)	FL10852.6, FL13872.5, FL13872.6, FL13872.9
LSU (ALL)	FL10447.5
MTSM16	FL11473.12
HGAM10	FL11473.5
LUS (ALL)	FL10655.30, FL10655.31, FL10655.32
HUS (ALL)	FL10531.26, FL10655.25, FL10655.26



ROOF FRAMING PLAN

1/4"=1'-0"



REV.	DESCRIPTION	DATE

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SCOTT A. SANTOMAURO ON 1/23/2023 10:38 AM USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.



SHEET TITLE		PROJECT	
FRAMING PLAN		RDC - OCOEE VILLAGE CABANA	
CA#27371 PHONE: 321.251.6006 3662 AVALON PARK EAST BLVD. SUITE 2072 ORLANDO, FL. 32828		DBSS^{INC.}	
DESIGN	DRAWN	SB	
CHECKED RD			
JOB		RDC-OCOEE VILLAGE CABANA	
SCALE		AS NOTED	
DATE		11.30.2022	
SHT X OF X		S2	

PRECAST NOTES:

1. PROVIDE FULL MORTAR HEAD AND BED JOINTS.
2. SHORE FILLED LINTELS AS REQUIRED.
3. INSTALLATION OF LINTEL MUST COMPLY WITH THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
4. LINTELS ARE MANUFACTURED WITH 5-1/2" LONG NOTCHES AT THE ENDS TO ACCOMMODATE VERTICAL CELL REINFORCING AND GROUTING.
5. ALL LINTELS MEET OR EXCEED L/360 VERTICAL DEFLECTION, EXCEPT LINTELS 17'-4" AND LONGER WITH A NOMINAL HEIGHT OF 8" MEET OR EXCEED L/180.
6. BOTTOM FIELD ADDED REBAR TO BE LOCATED AT THE BOTTOM OF THE LINTEL CAVITY.
7. 7/32" DIAMETER WIRE STIRRUPS ARE WELDED TO THE BOTTOM STEEL FOR MECHANICAL ANCHORAGE.
8. CAST-IN-PLACE CONCRETE MAY BE PROVIDED IN COMPOSITE LINTEL IN LIEU OF CONCRETE MASONRY UNITS.
9. SAFE LOAD RATINGS BASED ON RATIONAL DESIGN ANALYSIS PER ACI 318 AND ACI 530
10. BLOCK MASON TO VERIFY LINTEL DEPTHS W/ R.O. PRIOR TO INSTALLATION. CONTACT E.O.R. IF DISCREPANCY EXIST.

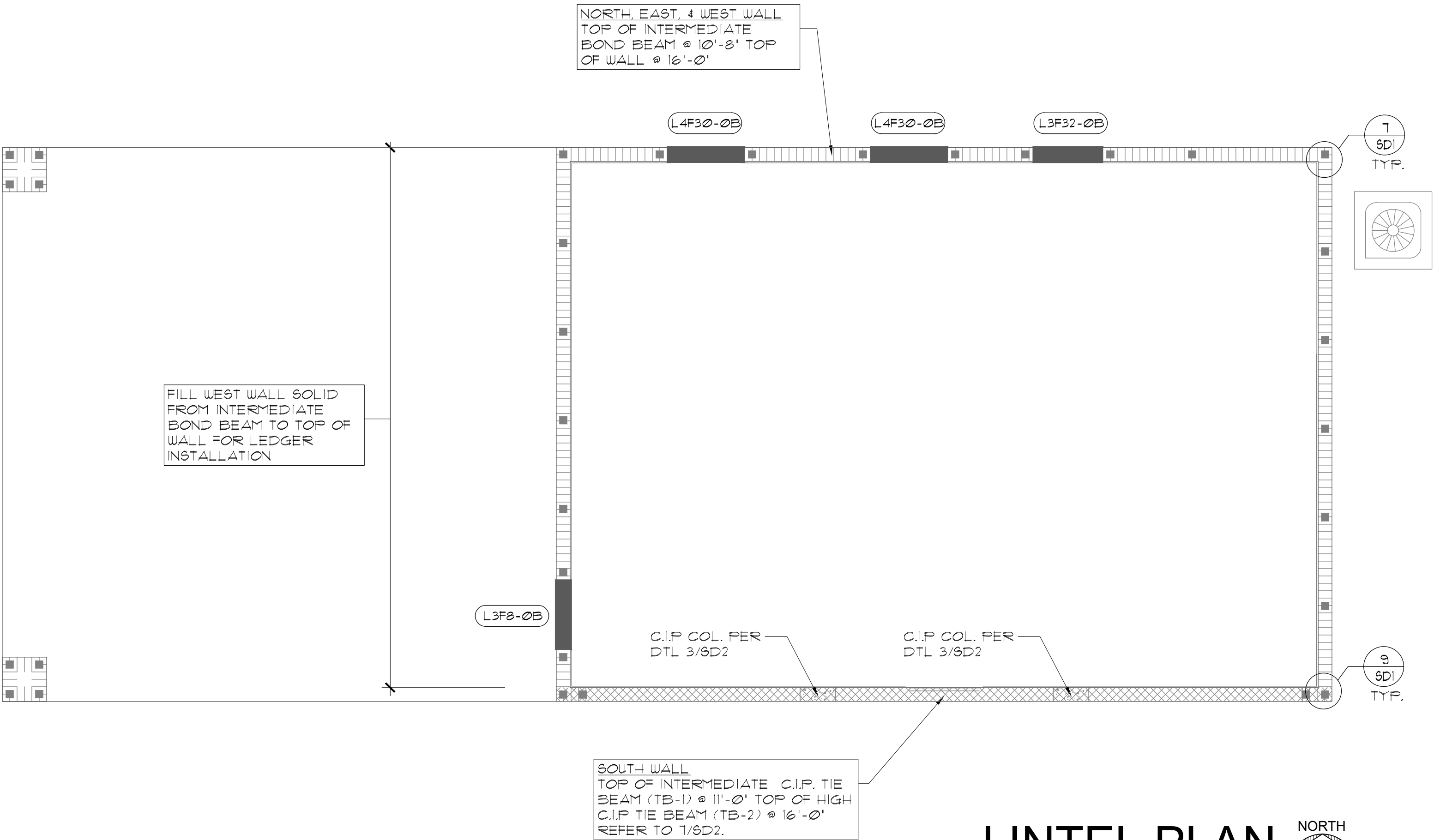
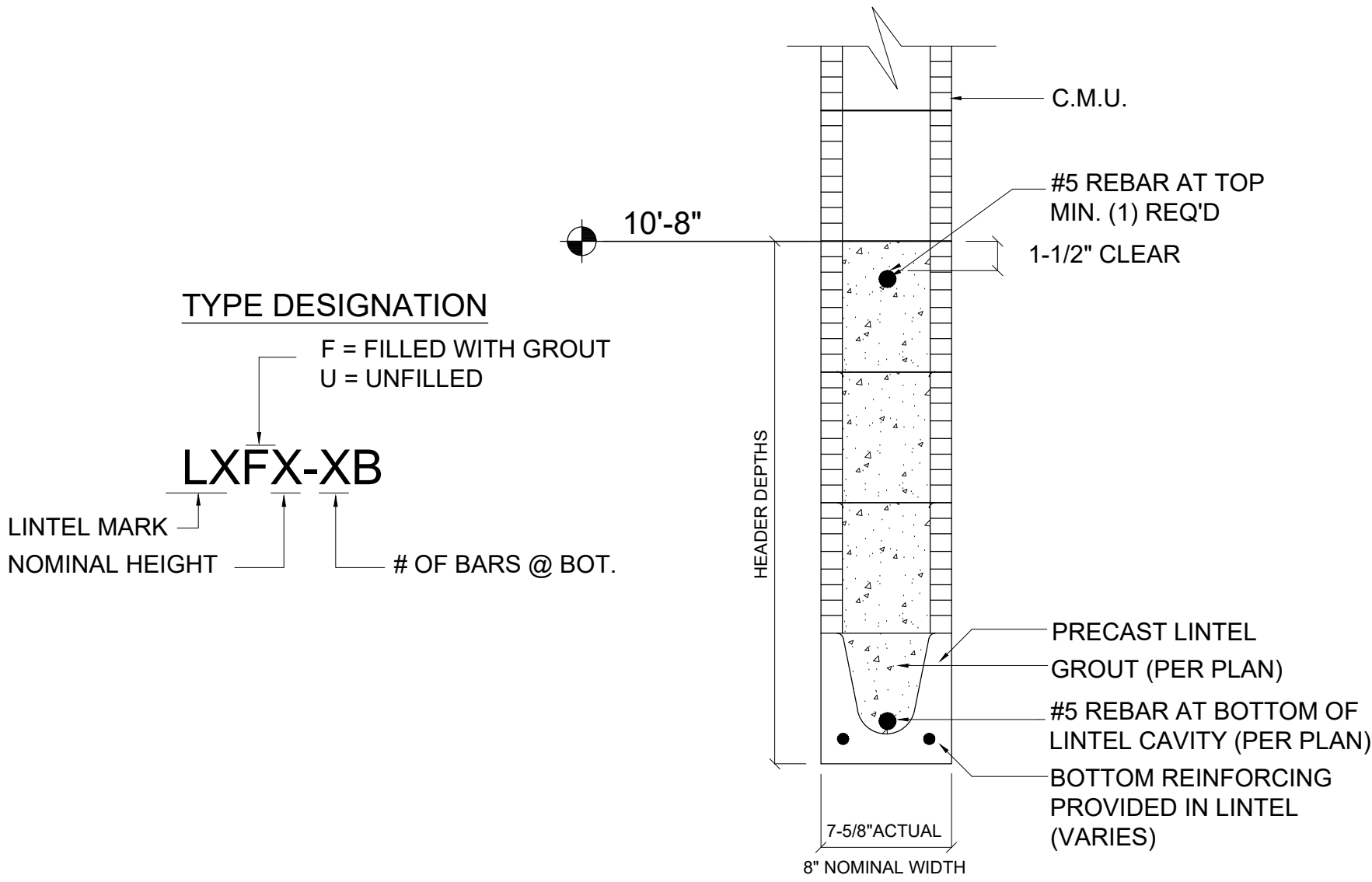
SAFE LOAD TABLE NOTES:

1. ALL VALUES BASED ON MINIMUM 4" BEARING. EXCEPTION: SAFE LOADS FOR UNFILLED LINTELS MUST BE REDUCED BY 20% IF BEARING LENGTH IS LESS THAN 6-1/2". SAFE LOADS FOR ALL RECESSED LINTELS BASED ON 8" NOMINAL BEARING.
2. N.R. = NOT RATED.
3. SAFE LOADS ARE TOTAL SUPERIMPOSED ALLOWABLE LOAD ON THE SECTION SPECIFIED.
4. SAFE LOADS BASED ON GRADE 40 OR GRADE 60 FIELD REBAR.
5. ADDITIONAL LATERAL LOAD CAPACITY CAN BE OBTAINED BY THE DESIGNER BY PROVIDING ADDITIONAL REINFORCED MASONRY ABOVE THE PRECAST LINTEL.
6. ONE #7 REBAR MAY BE SUBSTITUTED FOR TWO #5 REBARS IN 8" LINTELS ONLY.
7. THE DESIGNER MAY EVALUATE CONCENTRATED LOADS FROM THE SAFE LOAD TABLES BY CALCULATING THE MAXIMUM RESISTING MOMENT AND SHEAR AT D-AWAY FROM THE FACE OF SUPPORT.
8. FOR COMPOSITE LINTEL HEIGHTS NOT SHOWN, USE SAFE LOAD FROM NEXT LOWER HEIGHT.
9. ALL SAFE LOADS IN UNITS OF POUNDS PER LINEAR FOOT.

LOADS LISTED BELOW HAVE BEEN CALCULATED OR COMPILED FROM DATA FROM THE FOLLOWING APPROVED MAN.

PRECAST LINTEL LOAD TABLE(COMPOSITE W/(1)#5 TOP & BOTTOM GROUT FILLED SOLID)									
CAST-CRETE, QUALITY PRECAST CO., LOTT'S CONCRETE, AND FLORIDA ROCK IND.									
MARK	MAX. CLR. OPENING	6" DEEP	14" DEEP	22" DEEP	38" DEEP	8" DEEP	16" DEEP	24" DEEP	32" DEEP
L1	1'-6"	3984	3665	X	X	3166	6039	9004	10000
L2	2'-4"	2745	3665	X	X	3166	6039	9004	10000
L3	3'-4"	1384	3665	X	2000	1974	4616	7269	9924
L4	4'-6"	1025	3960	2000	X	1060	2483	3913	5350
L5	5'-4"	X	X	X	X	1261	2653	4049	4849
L6	6'-4"	524	N/A	X	X	1055	2542	4029	5047
L8	8'-4"	340	N/A	X	X	635	1534	2436	3127
L9	9'-0"	293	N/A	X	X	483	1170	1857	2404
L10	10'-0"	212	N/A	X	X	483	1170	1857	2555
L11	11'-0"	171	N/A	X	X	488	1224	1966	2721
L12	12'-0"	128	N/A	X	X	419	1053	1692	2341
L13	12'-8"	N/A	N/A	X	X	419	1053	1692	2341
L14	13'-4"	N/A	N/A	X	X	334	842	1352	1879
L16	16'-0"	N/A	N/A	X	X	272	611	988	1380
L18	18'-0"	N/A	N/A	X	X	240	611	1400	1980
L20	20'-0"	N/A	N/A	X	X	183	610	1300	1831
L21	20'-8"	N/A	N/A	X	X	183	610	1300	1831
L22	22'-8"	N/A	N/A	X	X	130	470	1250	1831

- 1) FOR HEADER DEPTHS DEEPER THAN 32", USE VALUES FOR 32" DEEP HEADER
2) FOR HEADER DEPTHS NOT LISTED ON CHART, USE THE VALUES FOR THE NEXT DEPTH DOWN.
(ex. L3F12 = L3F8)



LINTEL PLAN
3/16"=1'-0"

REV.	DESCRIPTION	DATE

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SCOTT A. SANTOMAURO ON 1/23/2023 10:40 AM USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG #65513

SCOTT A. SANTOMAURO, P.E.
FLORIDA REG #65513

SHEET TITLE
LINTEL PLAN

PROJECT
RDC - OCOEE VILLAGE CABANA

DESIGN
RD

DRAWN
SB

CHECKED
RD

JOB
RDC-OCOEE VILLAGE CABANA

SCALE
AS NOTED

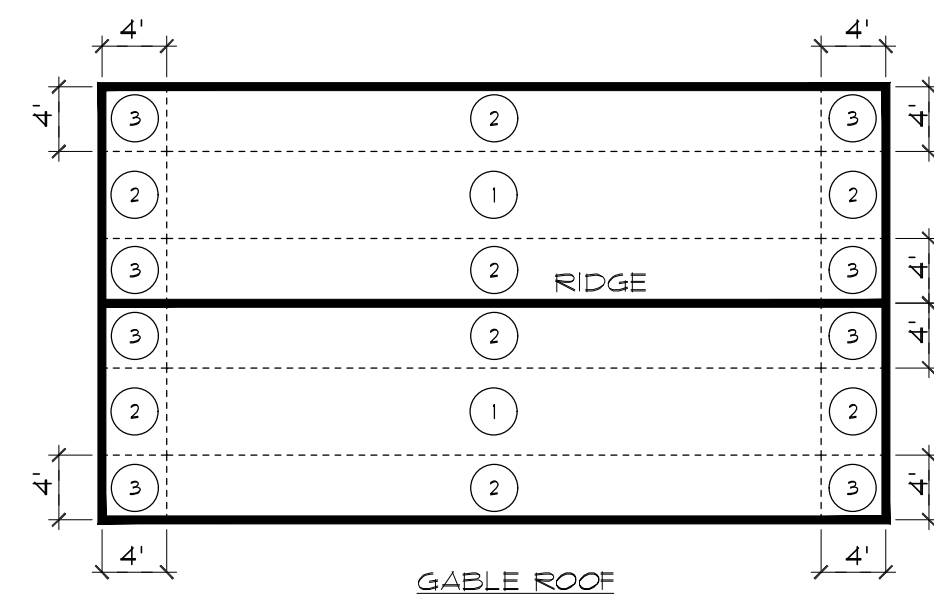
DATE
11.30.2022

SHT X OF X

DBSS INC.

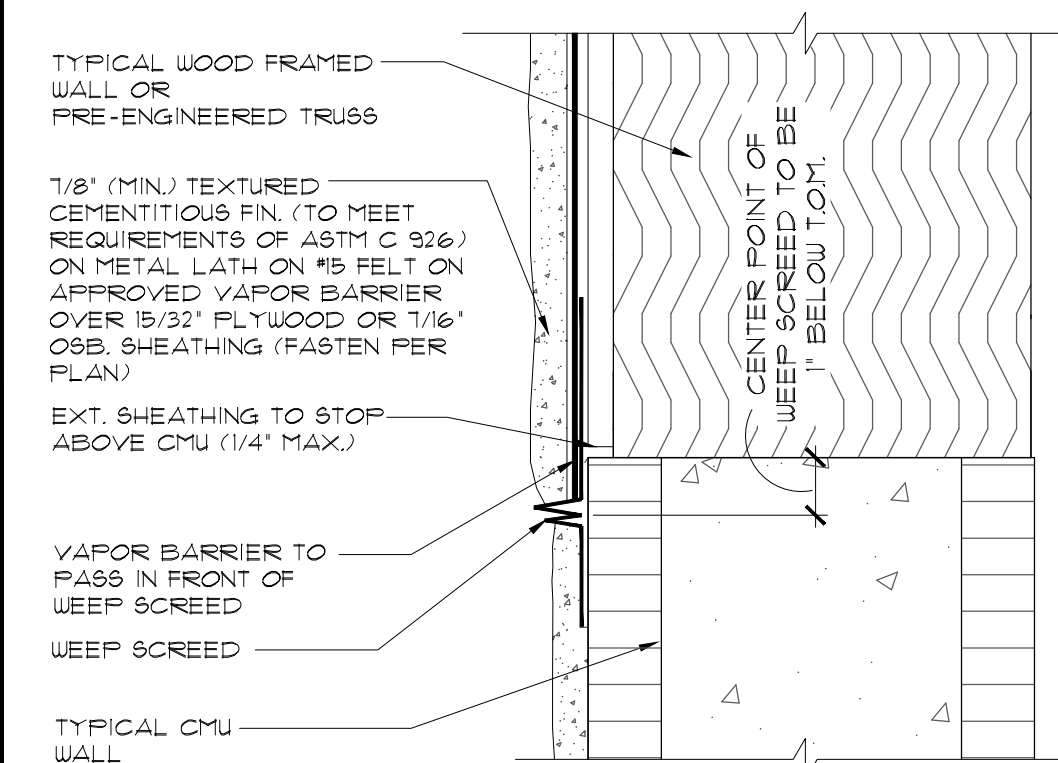
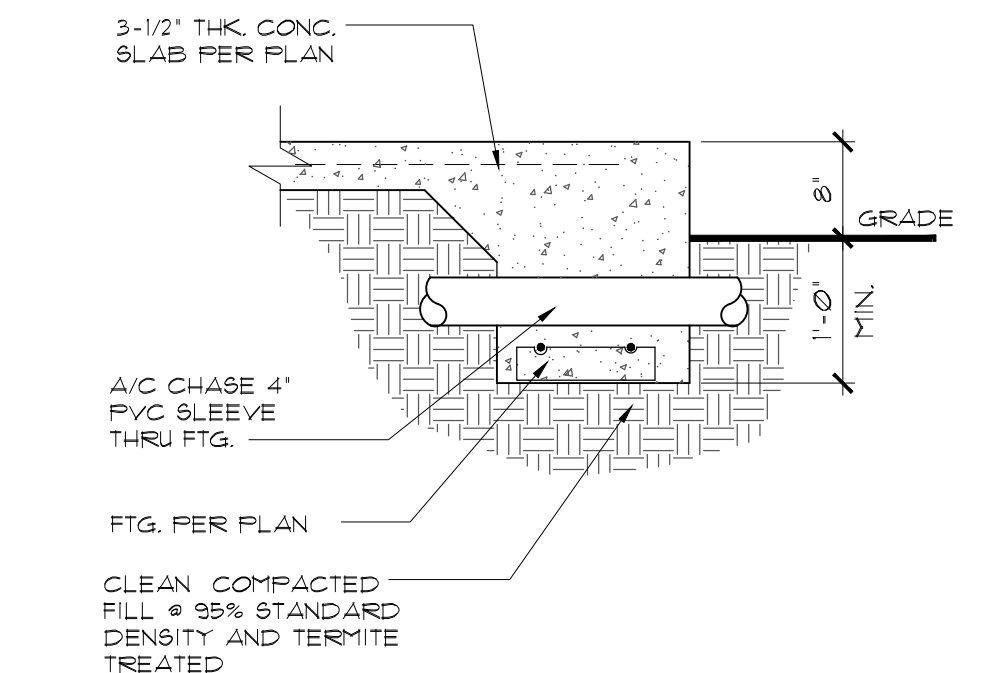
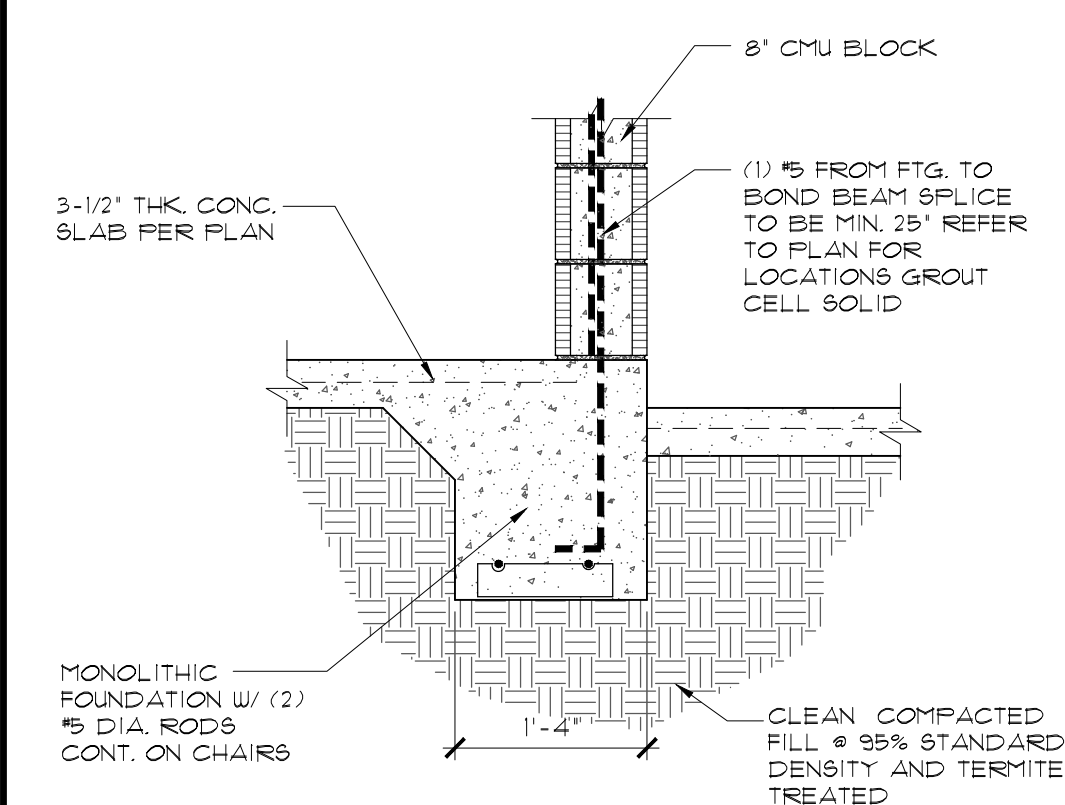
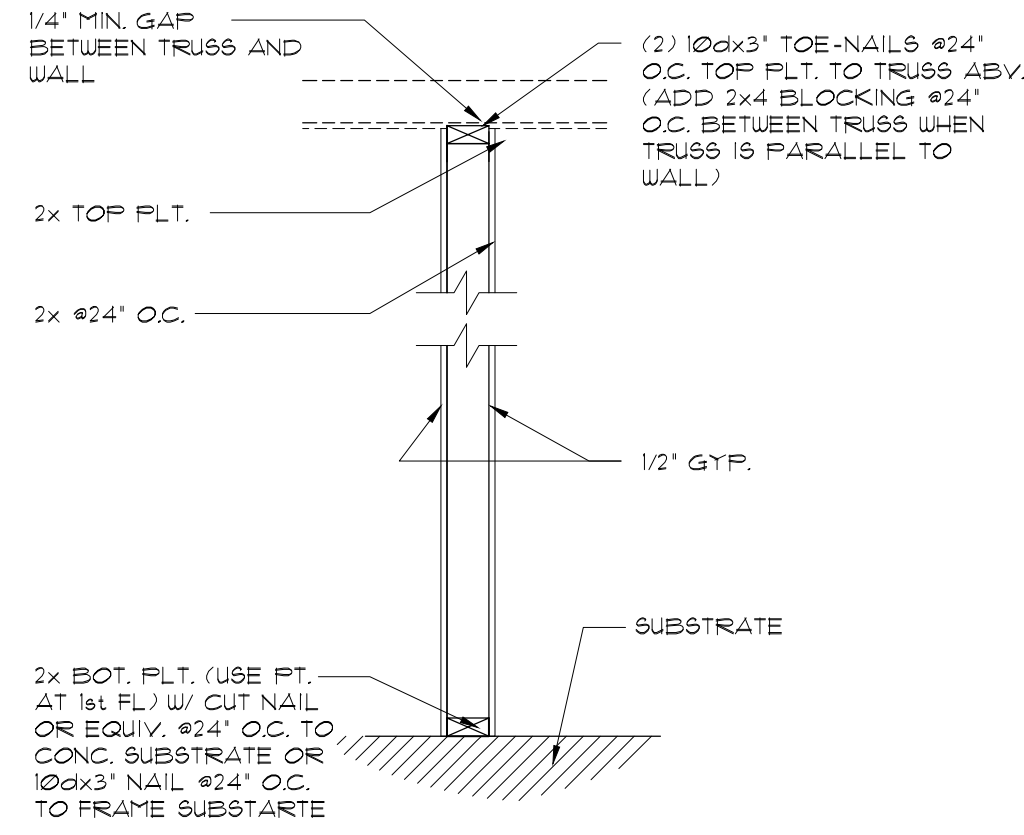
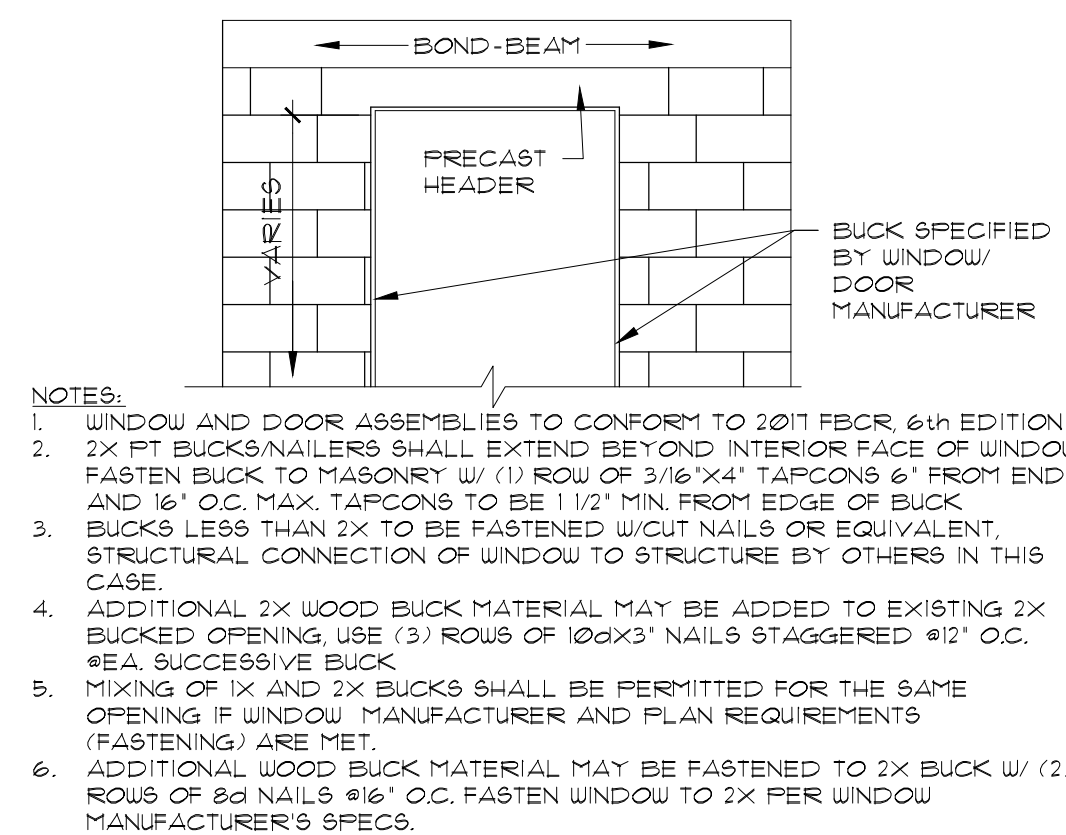
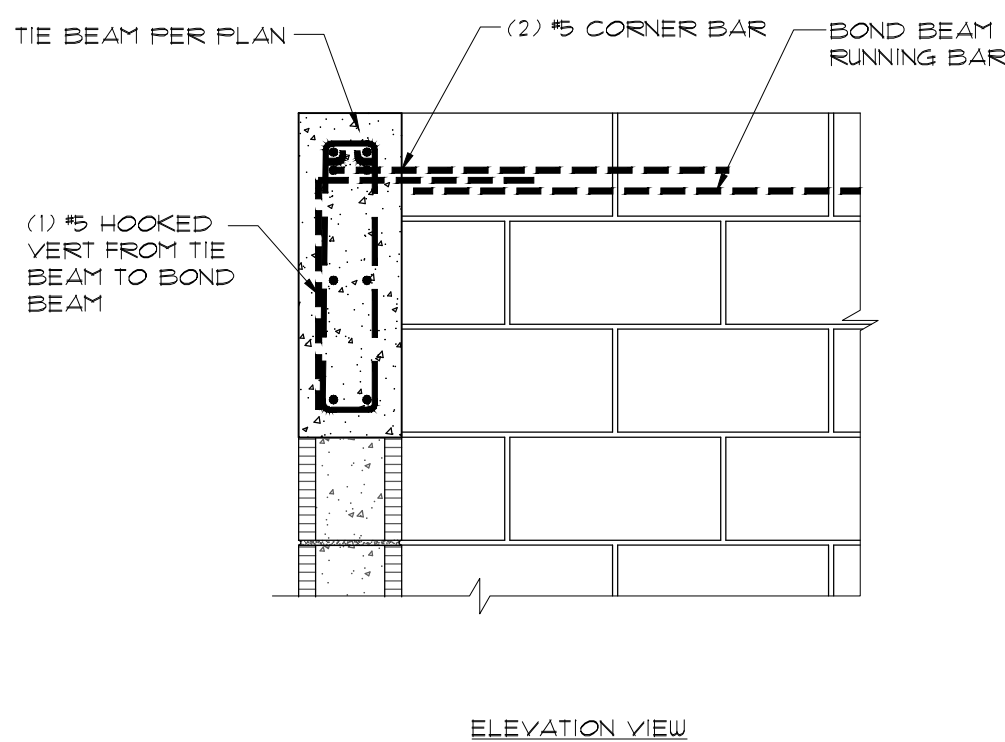
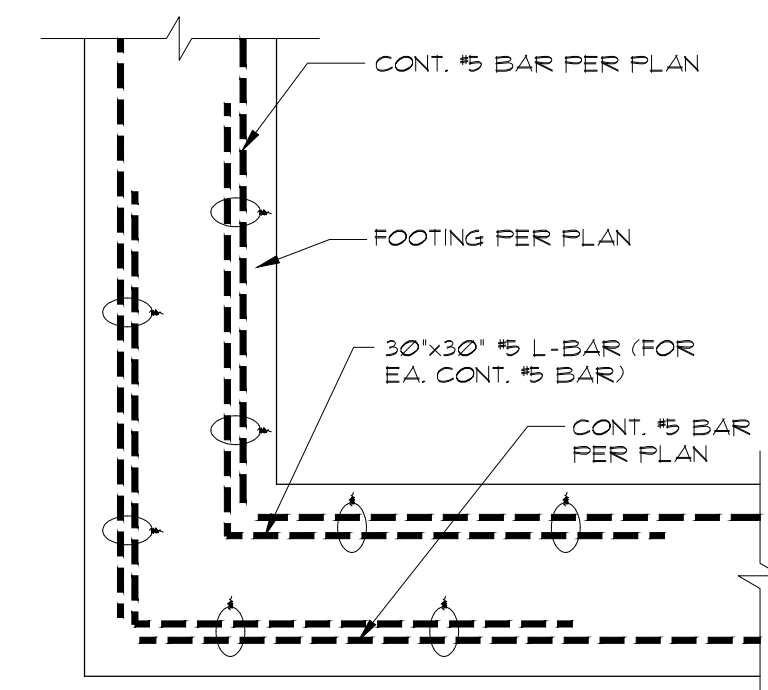
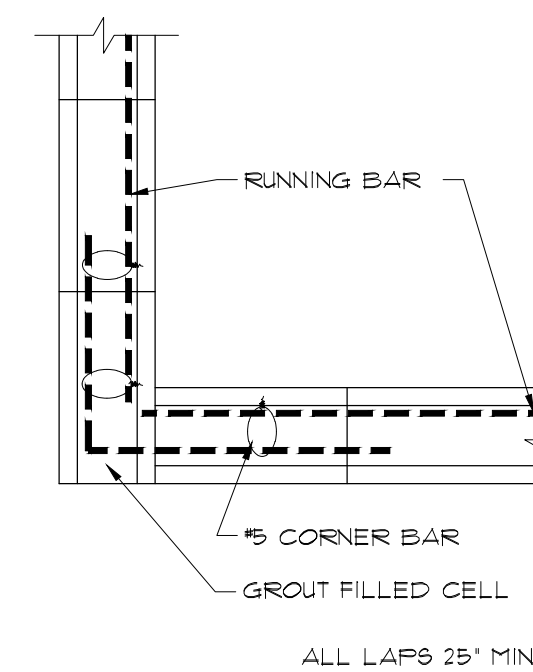
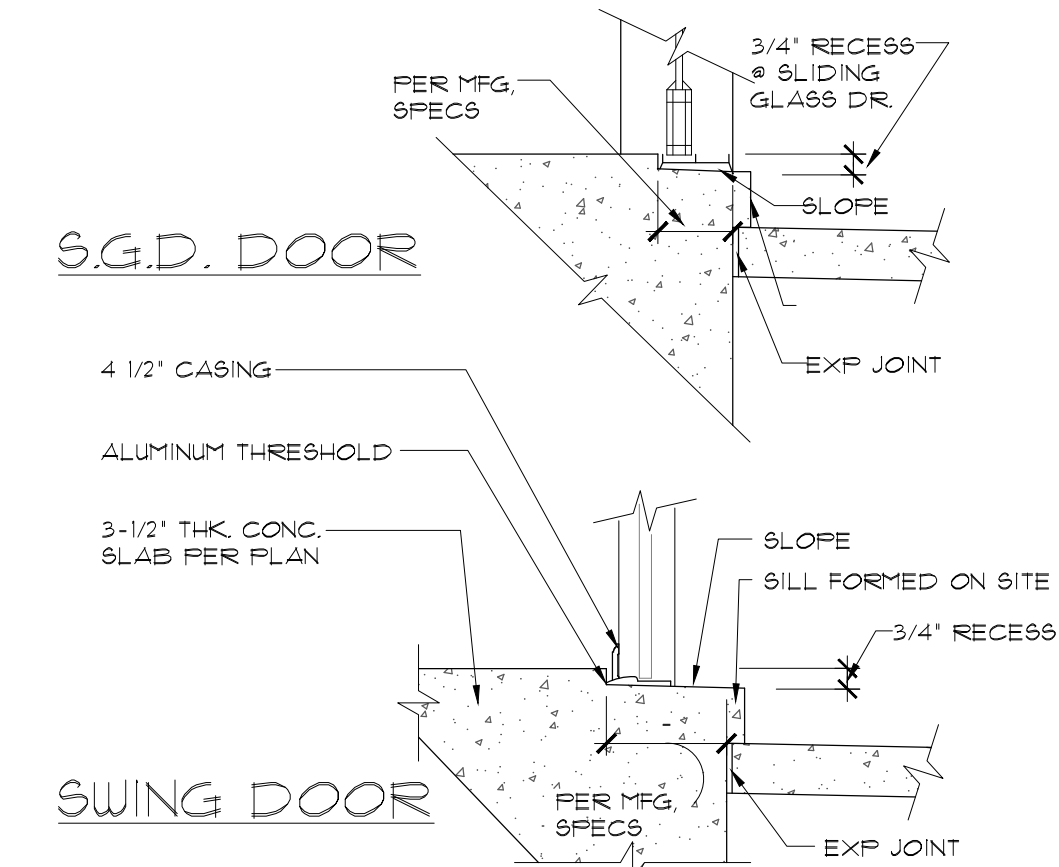
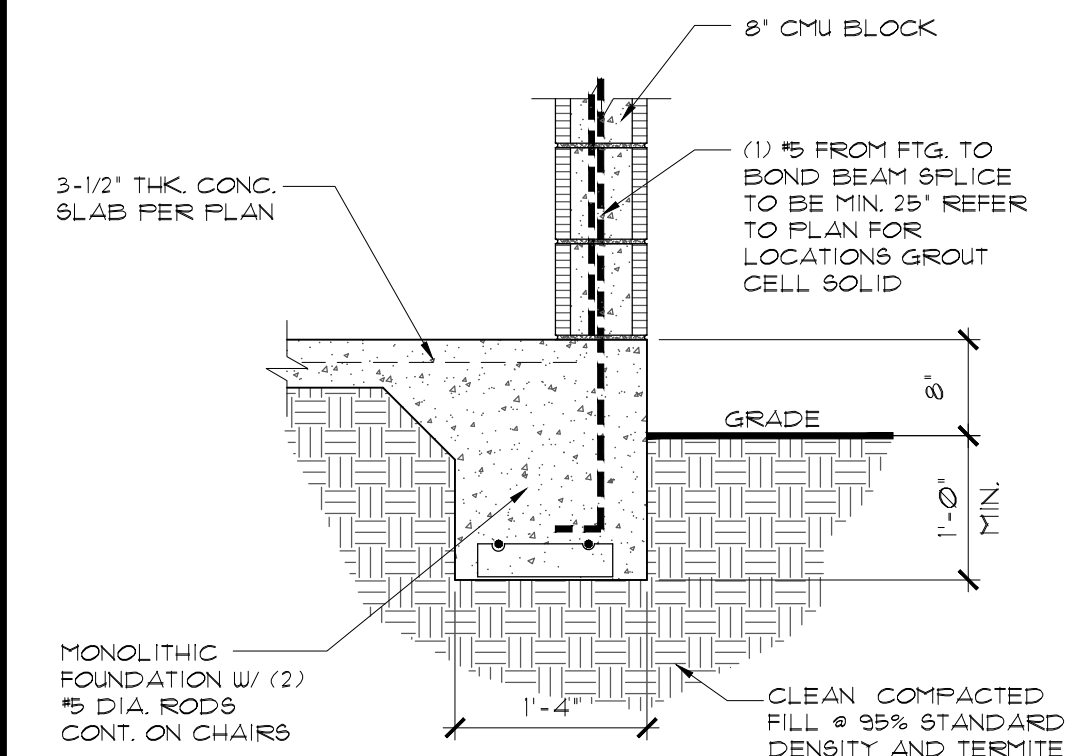
CA#27371
PHONE: 321.251.6006
3662 AVALON PARK EAST BLVD.
SUITE 2073
ORLANDO, FL. 32828

S3

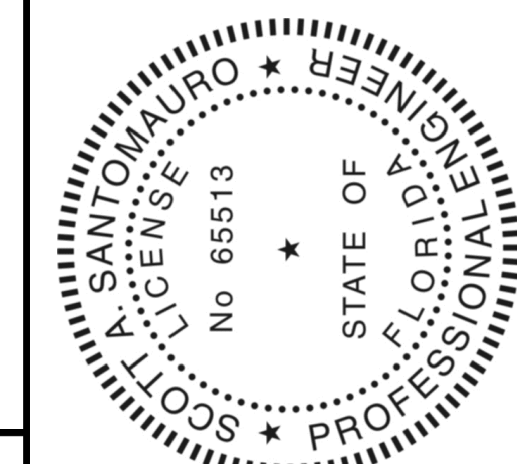


ROOF NAILING PATTERN	
ZONE: ①	8d RING-SHANK @6" O.C. EDGES 4 6" O.C. FIELD
ZONE: ②	8d RING-SHANK @6" O.C. EDGES 4 6" O.C. FIELD
ZONE: ③	8d RING-SHANK @6" O.C. EDGES 4 6" O.C. FIELD

NOTE: ALL ROOF SHEATHING JOINTS TO BE STAGGERED

[illegible]

THIS ITEM HAS BEEN ELECTRONICALLY
SIGNED AND SEALED BY SCOTT A.
SANTOMAURO ON 11/23/2023 10:40 AM
USING A DIGITAL SIGNATURE. PRINTED
NAMES AND DATES ARE NOT TO BE
CONSIDERED SIGNED, SEALED, AND
THE SIGNATURE MUST BE VERIFIED ON
ANY ELECTRONIC COPY.



SHEET TITLE
 DETAILS
 CA#27371
 PHONE: 321.251.6006
 3662 AVAALON PARK EAST BLVD.
 SUITE 2072
 ORLANDO FL 32828

PROJECT

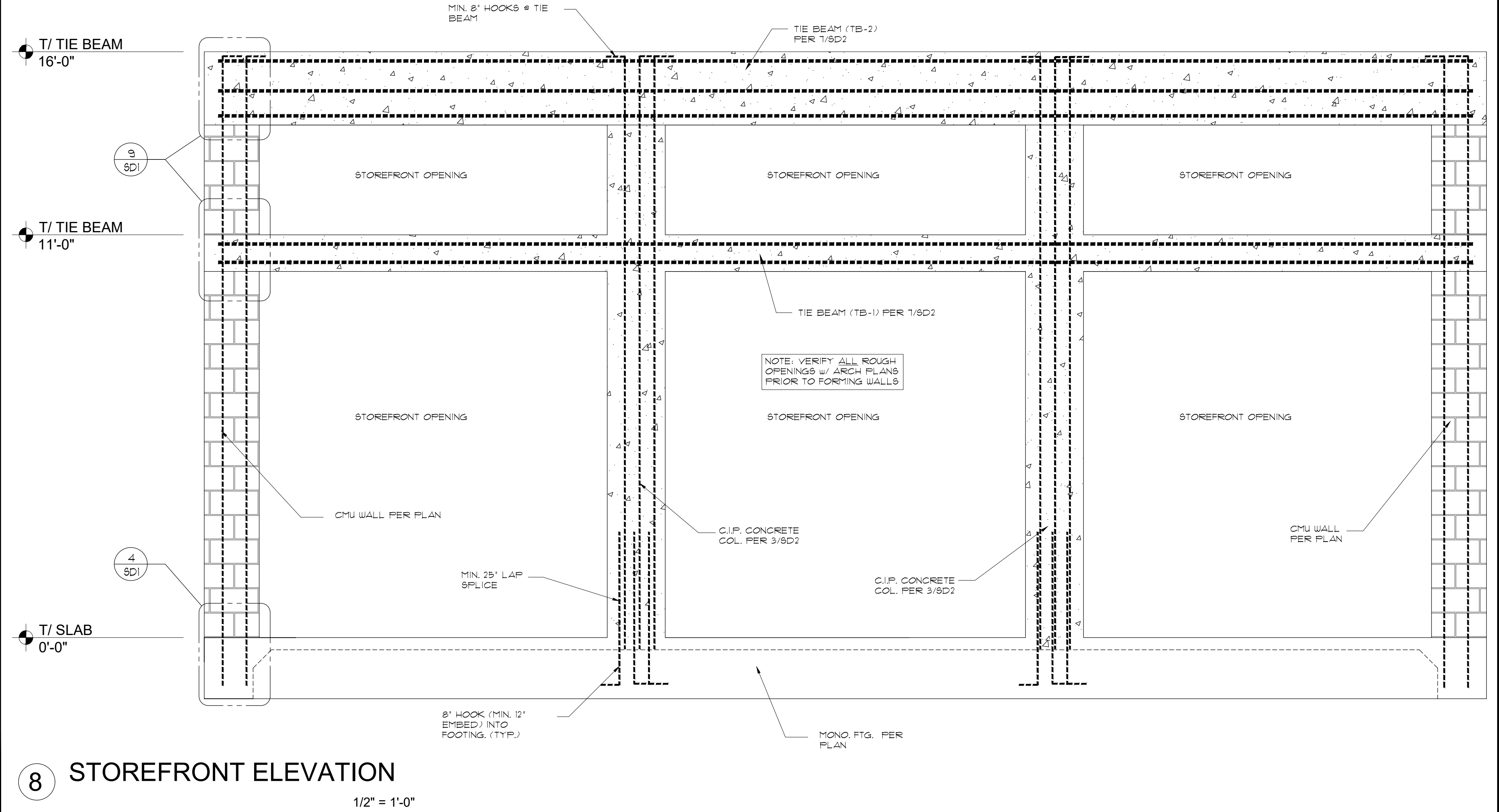
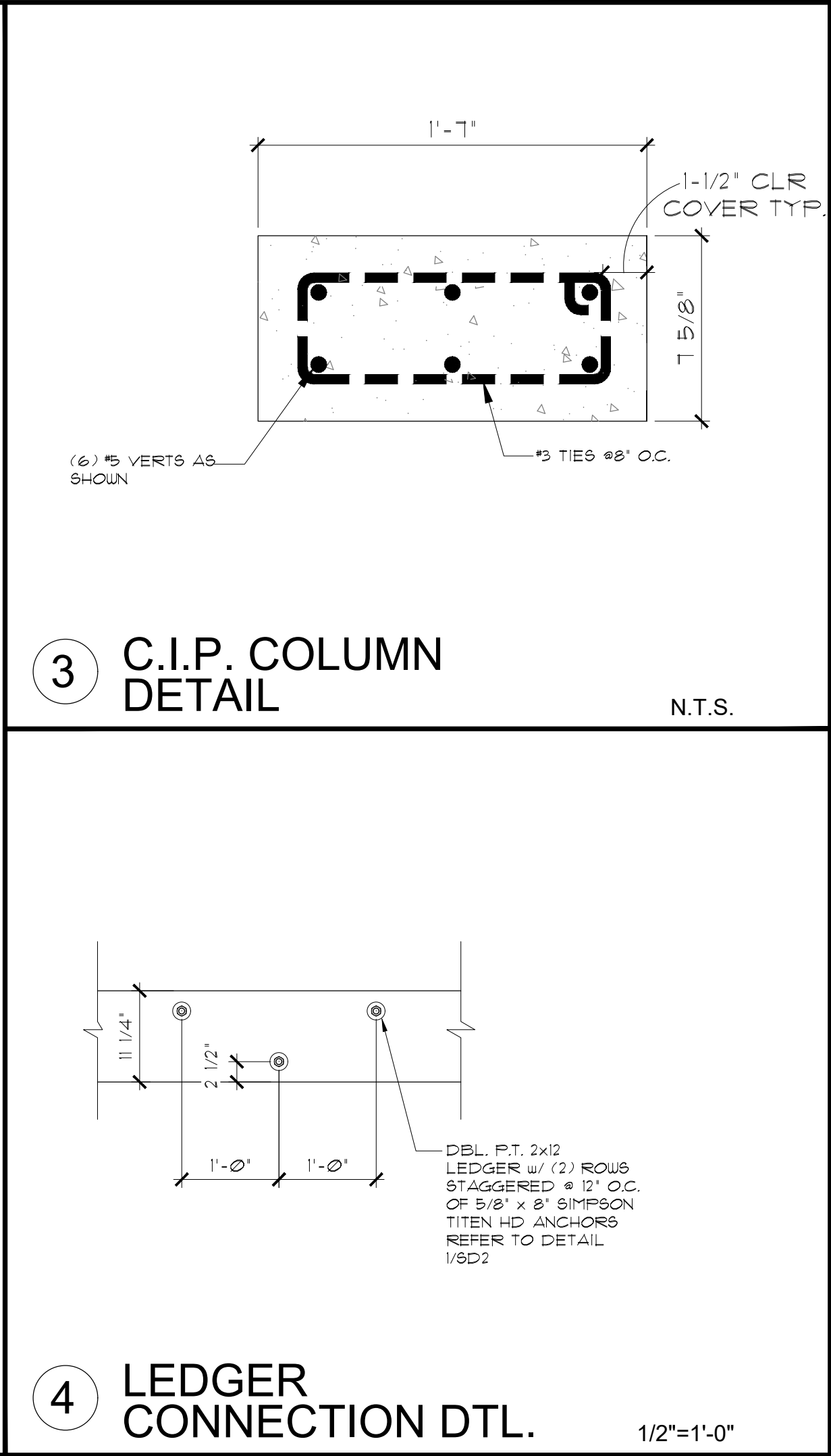
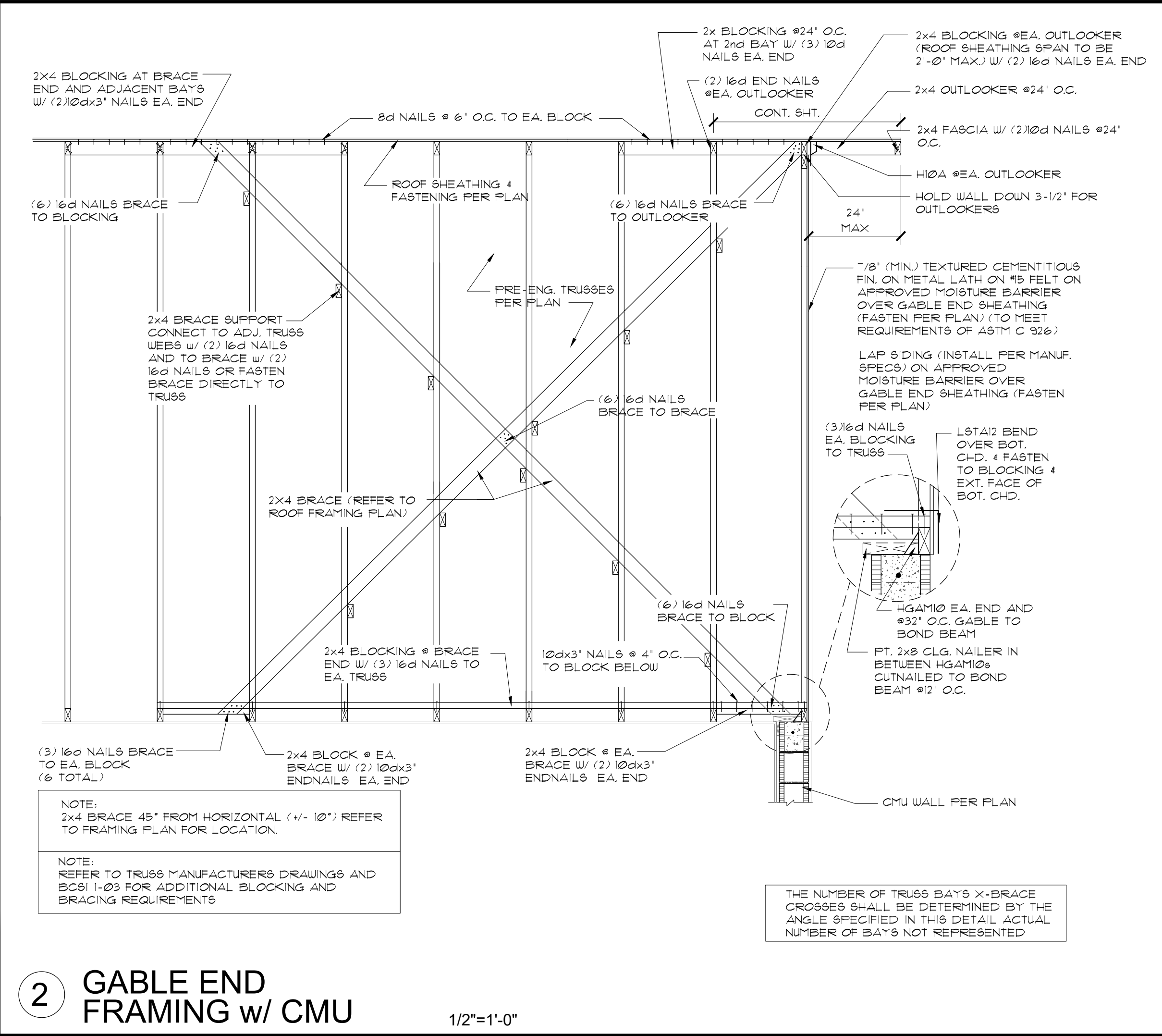
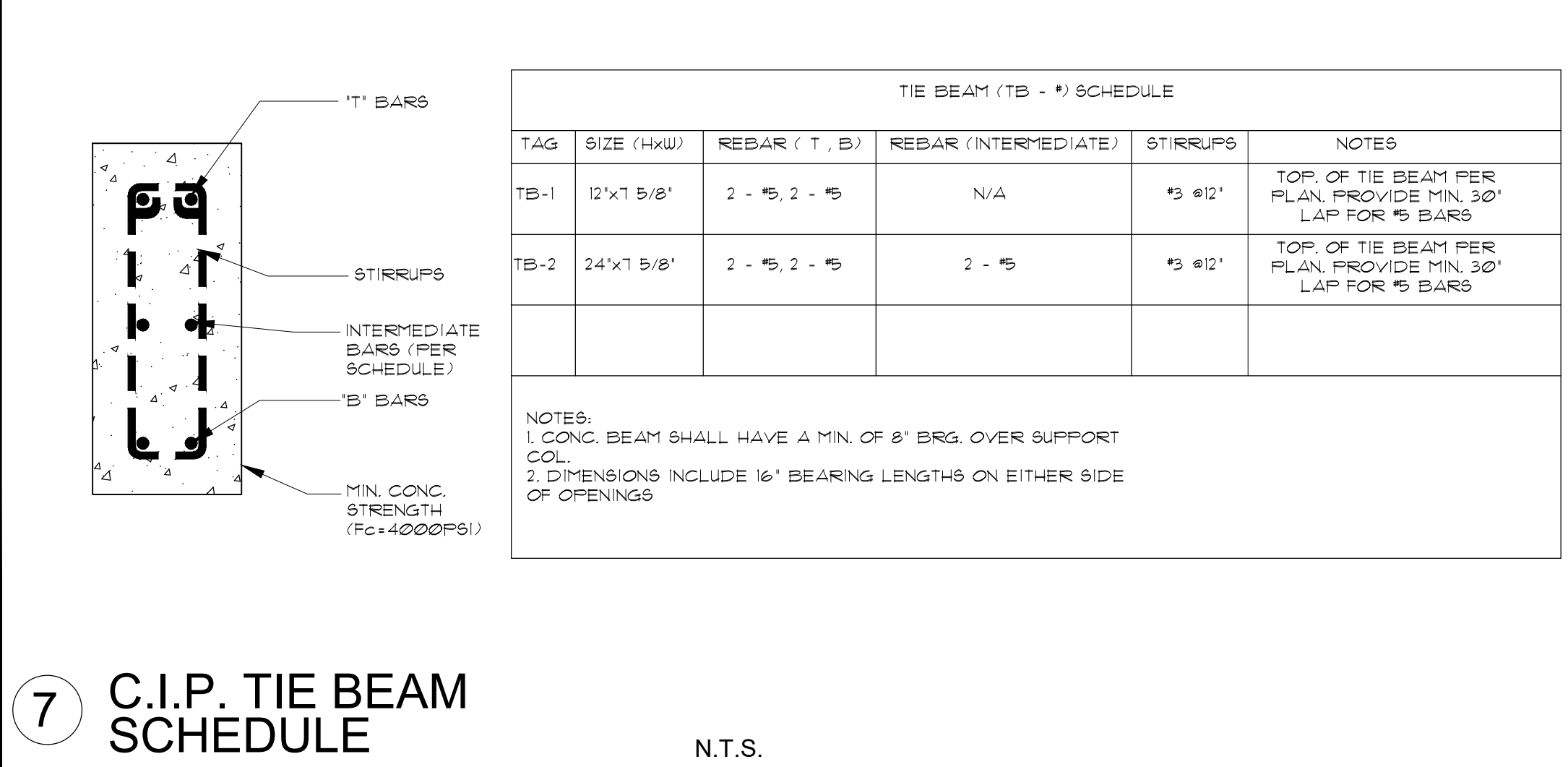
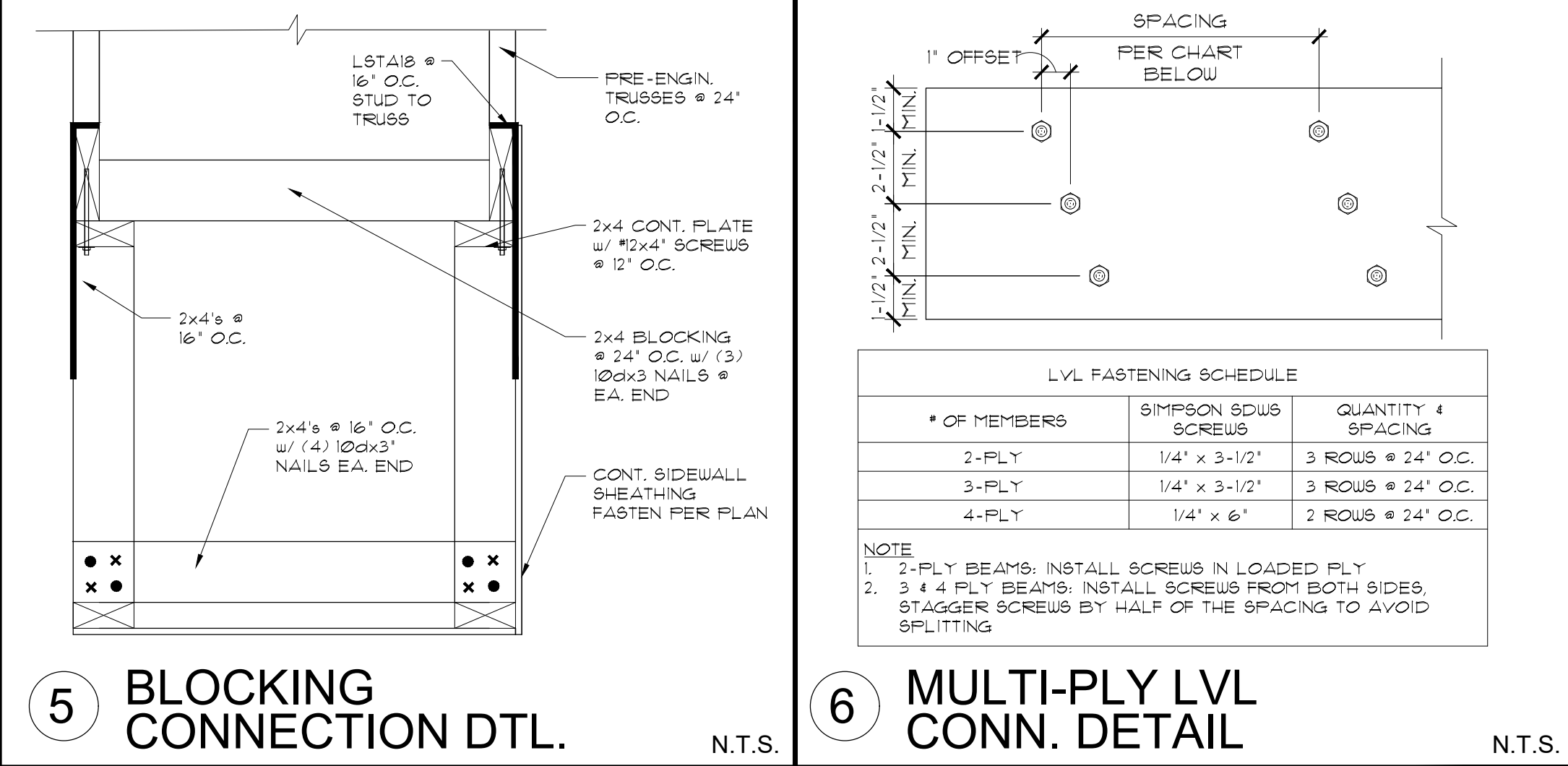
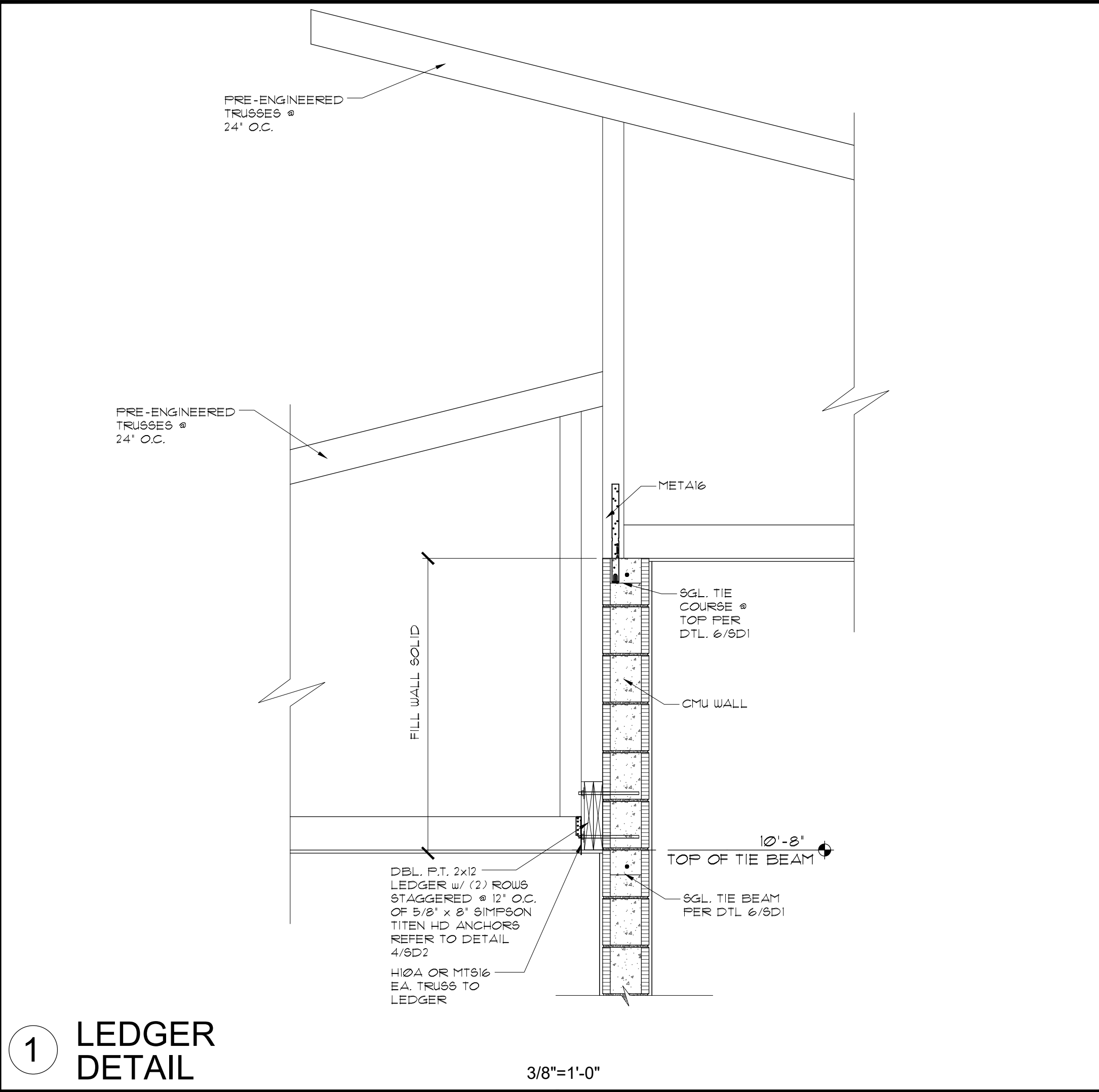
RDC - OCOEE VILLAGE
CABANA

DBSS
INC.

DESIGN	DRAWN
CHECKED	RD
JOB	RDC-OCOEE VILLAGE CABANA
SCALE	AS NOTED
DATE	11.30.2023

SHT 5 OF X

DBS INC.



REVISIONS		DESCRIPTION	REV.	DATE

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY SCOTT A. SANTOMAURO ON 11/23/2023 10:40 AM USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPY.

SCOTT A. SANTOMAURO, M.S., P.E.
FLORIDA REG. #65513

PROJECT: RDC - OCOEE VILLAGE CABANA

SHEET TITLE: DETAILS

CA#27371
PHONE: 321.251.6006
3662 AVALON PARK EAST BLVD.
SUITE 207
ORLANDO, FL. 32828

DESIGN: SB
DRAWN: SB
CHECKED: RD
JOB: RDC-OCOEE VILLAGE CABANA
SCALE: AS NOTED
DATE: 11.30.2022

SD2
SHT 6 OF X

OCCOE VILLAGE

AMENITY SITE - LANDSCAPE ARCHITECTURE PLANS

CANIN ASSOCIATES
500 delaney avenue orlando, florida 32801 407.422.4040
www.canin.com copyright (c) 2022 canin associates, inc.

OCOE, FLORIDA - CA PROJECT #: 221037_10

PROJECT INFORMATION

PROPERTY INFORMATION

OWNER:
PARK SQUARE HOMES
SID GAUTAM
5200 VINELAND ROAD, STE 200
ORLANDO, FL 32811
407-529-3090

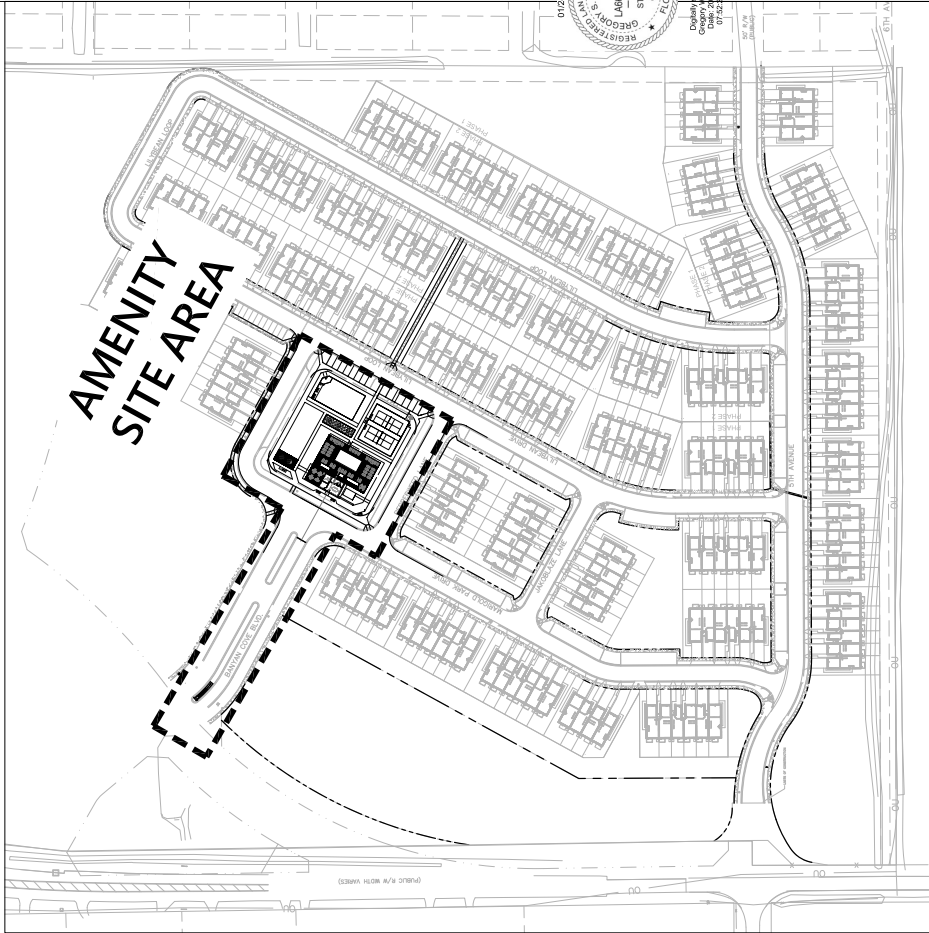
LANDSCAPE ARCHITECT:

CANIN ASSOCIATES:
GREGORY S. WITHERSPOON
500 DELANEY AVE
ORLANDO, FLORIDA 32801
407.422.4040

SCHEDULE OF SHEETS

HP-00	COVER SHEET
HP-01	HARDSCAPE PLAN
HP-02	HARDSCAPE NOTES
HP-03	HARDSCAPE DETAILS
LA-01	LANDSCAPE PLAN
LA-02	LANDSCAPE NOTES
LA-03	LANDSCAPE DETAILS
IR-01	IRRIGATION PLAN
IR-02	IRRIGATION DETAILS
IR-03	IRRIGATION DETAILS
IR-04	IRRIGATION DETAILS
IR-05	IRRIGATION NOTES
IR-06	IRRIGATION SPECIFICATIONS

KEY MAP

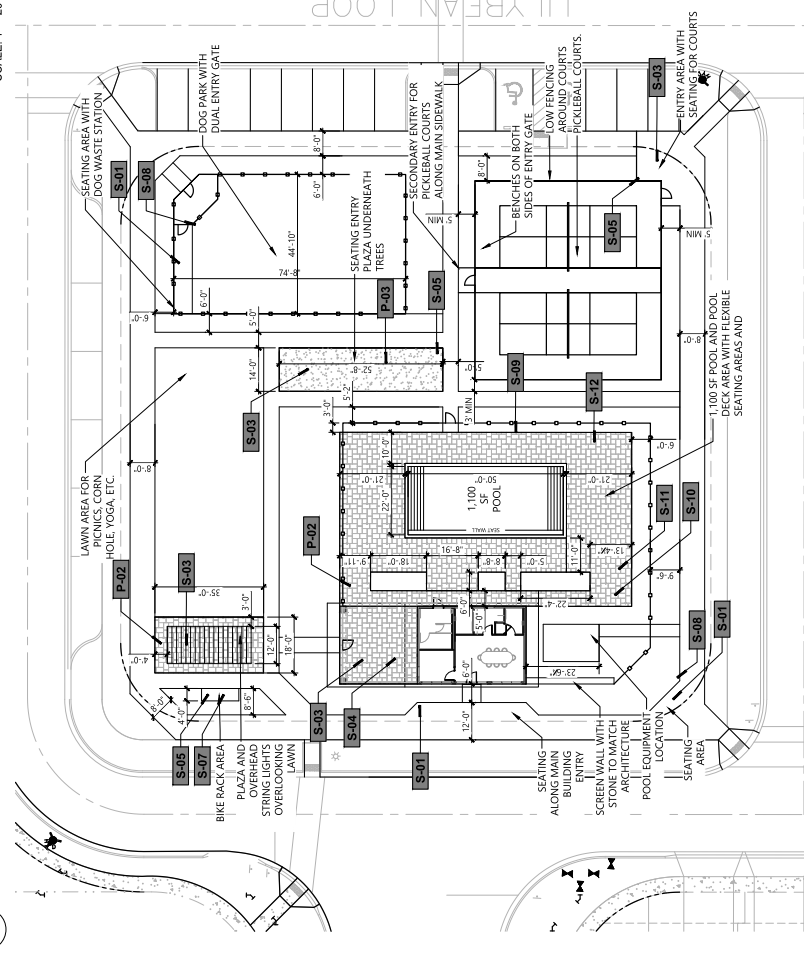


ISSUED FOR:

DATE:

CHECK SET:
PERMIT SET:
CONSTRUCTION SET:

02/11/22
01/19/23
00/00/00



DATE	REV	DESCRIPTION
2/20/2020	001	
01/24/2023	002	REVISIONS
01/24/2023	003	REVISIONS
01/24/2023	004	REVISIONS
01/24/2023	005	REVISIONS
01/24/2023	006	REVISIONS
01/24/2023	007	REVISIONS
01/24/2023	008	REVISIONS
01/24/2023	009	REVISIONS
01/24/2023	010	REVISIONS
01/24/2023	011	REVISIONS
01/24/2023	012	REVISIONS
01/24/2023	013	REVISIONS
01/24/2023	014	REVISIONS
01/24/2023	015	REVISIONS
01/24/2023	016	REVISIONS
01/24/2023	017	REVISIONS
01/24/2023	018	REVISIONS
01/24/2023	019	REVISIONS
01/24/2023	020	REVISIONS
01/24/2023	021	REVISIONS
01/24/2023	022	REVISIONS
01/24/2023	023	REVISIONS
01/24/2023	024	REVISIONS
01/24/2023	025	REVISIONS
01/24/2023	026	REVISIONS
01/24/2023	027	REVISIONS
01/24/2023	028	REVISIONS
01/24/2023	029	REVISIONS
01/24/2023	030	REVISIONS
01/24/2023	031	REVISIONS
01/24/2023	032	REVISIONS
01/24/2023	033	REVISIONS
01/24/2023	034	REVISIONS
01/24/2023	035	REVISIONS
01/24/2023	036	REVISIONS
01/24/2023	037	REVISIONS
01/24/2023	038	REVISIONS
01/24/2023	039	REVISIONS
01/24/2023	040	REVISIONS
01/24/2023	041	REVISIONS
01/24/2023	042	REVISIONS
01/24/2023	043	REVISIONS
01/24/2023	044	REVISIONS
01/24/2023	045	REVISIONS
01/24/2023	046	REVISIONS
01/24/2023	047	REVISIONS
01/24/2023	048	REVISIONS
01/24/2023	049	REVISIONS
01/24/2023	050	REVISIONS
01/24/2023	051	REVISIONS
01/24/2023	052	REVISIONS
01/24/2023	053	REVISIONS
01/24/2023	054	REVISIONS
01/24/2023	055	REVISIONS
01/24/2023	056	REVISIONS
01/24/2023	057	REVISIONS
01/24/2023	058	REVISIONS
01/24/2023	059	REVISIONS
01/24/2023	060	REVISIONS
01/24/2023	061	REVISIONS
01/24/2023	062	REVISIONS
01/24/2023	063	REVISIONS
01/24/2023	064	REVISIONS
01/24/2023	065	REVISIONS
01/24/2023	066	REVISIONS
01/24/2023	067	REVISIONS
01/24/2023	068	REVISIONS
01/24/2023	069	REVISIONS
01/24/2023	070	REVISIONS
01/24/2023	071	REVISIONS
01/24/2023	072	REVISIONS
01/24/2023	073	REVISIONS
01/24/2023	074	REVISIONS
01/24/2023	075	REVISIONS
01/24/2023	076	REVISIONS
01/24/2023	077	REVISIONS
01/24/2023	078	REVISIONS
01/24/2023	079	REVISIONS
01/24/2023	080	REVISIONS
01/24/2023	081	REVISIONS
01/24/2023	082	REVISIONS
01/24/2023	083	REVISIONS
01/24/2023	084	REVISIONS
01/24/2023	085	REVISIONS
01/24/2023	086	REVISIONS
01/24/2023	087	REVISIONS
01/24/2023	088	REVISIONS
01/24/2023	089	REVISIONS
01/24/2023	090	REVISIONS
01/24/2023	091	REVISIONS
01/24/2023	092	REVISIONS
01/24/2023	093	REVISIONS
01/24/2023	094	REVISIONS
01/24/2023	095	REVISIONS
01/24/2023	096	REVISIONS
01/24/2023	097	REVISIONS
01/24/2023	098	REVISIONS
01/24/2023	099	REVISIONS
01/24/2023	100	REVISIONS



GENERAL HARDSCAPE NOTES

- THE HARDSCAPE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ADHERING TO ALL CONDITIONS AS WELL AS THE SPECIFIC CRITERIA OUTLINED HEREIN AND ON THE LANDSCAPE DRAWINGS.
- THE SCOPE OF WORK FOR THE LANDSCAPE CONTRACTOR FOR THIS PROJECT SHALL INCLUDE THE PROVISION OF ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE ALL TASKS ASSOCIATED WITH THE HARDSCAPE (HS) INSTALLATION AS SHOWN ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE GENERAL CONTRACTOR REASONABLE ACCESS TO POWER AND POTABLE WATER SOURCES AS REQUIRED.
- THE HARDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL WORK (INCLUDING DELIVERY, STORAGE AND DISPOSAL OF THEIR MATERIALS) IS PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE WORK.
- THE HARDSCAPE CONTRACTOR SHALL ASSIGN A QUALIFIED PROJECT MANAGER AND FIELD SUPERVISOR TO WORK DIRECTLY WITH THE LANDSCAPE ARCHITECT AND SUPERVISE THE WORK AT ALL TIMES THROUGH FINAL OWNER ACCEPTANCE. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAINTAIN A COMPLETE, CURRENT SET OF DOCUMENTS ON-SITE AT ALL TIMES.
- THE HARDSCAPE CONTRACTOR FOR THIS PROJECT MUST BE ABLE TO DOCUMENT A MINIMUM OF FIVE (5) YEARS OF COMPARABLE EXPERIENCE IN THE INSTALLATION OF HARDSCAPE FOR PROJECTS IN FLORIDA OF SIMILAR SCALE, INTENSITY AND QUALITY.
- THE HARDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH EXISTING SITE CONDITIONS AND NOTIFYING THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS, OR INADEQUACIES. THE LANDSCAPE CONTRACTOR SHOULD INCLUDE, BUT IS NOT LIMITED TO, VERIFICATION OF SURFACE AND SUBSURFACE UTILITIES, GRADES, DIMENSIONS AND SOIL CONDITIONS.
- THE HARDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH PROJECT PLANS AND SCOPES OF WORK RELATED TO ASSOCIATED TRADES TO BE COMPLETED BY OTHER CONTRACTORS. THE LANDSCAPE CONTRACTOR SHALL, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.
- THE HARDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY PERSON OR PROPERTY THAT MAY OCCUR AS A RESULT OF THEIR EXECUTION OF THEIR WORK.
- THE HARDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE AREA, MATERIALS AND EQUIPMENT WITHIN THE LIMITS OF WORK IN A SAFE, NEAT AND ORDERLY MANNER. EXCESS MATERIALS AND DEBRIS ARE TO BE REMOVED FROM THE WORK AREA NO LESS THAN WEEKLY OR AS DIRECTED BY THE GENERAL CONTRACTOR.
- THE HARDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING WORK ACTIVITIES PRESCRIBED BY THE GENERAL CONTRACTOR.
- THE HARDSCAPE CONTRACTOR SHALL GOVERNATE ANY EXCAVATION IN THE VICINITY OF PRE-EXISTING OR NEW UNPAVED UTILITIES WITH THE GENERAL CONTRACTOR. IT IS THE RESPONSIBILITY OF THE HARDSCAPE CONTRACTOR TO NOTIFY ALL NECESSARY UTILITY COMPANIES A MINIMUM OF 48 HOURS PRIOR TO DIGGING FOR FIELD OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CONTRACTOR MUST COORDINATE WITH THE GENERAL CONTRACTOR PRIOR TO INITIATING OPERATIONS EMERGENCY REPAIR PLANS AND ANY POSSIBLE SERVICE INTERRUPTION(S). THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR SHALL, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.
- THE HARDSCAPE CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT ALL EXISTING SITE ROADS, PARKING LOTS, CURBS AND UTILITIES FROM DAMAGE. THIS APPLIES NOT ONLY TO THE AREA WITHIN THE LIMITS OF WORK BUT ALSO ALONG ANY LOCAL ACCESS ROADS OR ROADWAYS INTERNAL TO THE RESORT.
- THE HARDSCAPE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES.
- THE HARDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR TO ENSURE ALL NECESSARY SAFETY MEASURES ARE IN PLACE PRIOR TO BEGINNING EXCAVATION. FENCE AND/OR OTHER MEASURES) ARE INSTALLED PRIOR TO BEGINNING EXCAVATION.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES (SILT FENCE, GRASS EROSION AND/OR OTHER MEASURES) DURING CONSTRUCTION. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO MINIMIZE ADVERSE IMPACTS.
- THE HARDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL HARDSCAPE ITEMS INSTALLED UNTIL FINAL ACCEPTANCE BY THE OWNER.

- THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE AVAILABILITY OF ALL THE MATERIALS AND EQUIPMENT REQUIRED FOR THE PROJECT PRIOR TO THE START OF CONSTRUCTION. SUBSTITUTION DUE TO LACK OF AVAILABILITY MUST BE MADE TO THE OWNER AND LANDSCAPE ARCHITECT IN WRITING WITHIN THIS PERIOD. NO SUBSTITUTIONS WILL BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MATERIALS AND EQUIPMENT REQUIRED FOR THE PROJECT. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUESTING SUBSTITUTION. IN ORDER TO BE CONSIDERED BY THE OWNER AS VIABLE ALTERNATES MATERIALS MUST SHARE THE SAME GENERAL APPEARANCE, FORM, SIZE, TEXTURE, COLOR AND QUALITY. MATERIALS MUST BE OFFERED AT NO ADDITIONAL COST TO THE OWNER.
 - THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF EACH MATERIAL PER THE DRAWINGS. IN ADDITION THE CONTRACTOR MUST MONITOR THE ONGOING "AS-BUILT" ENVIRONMENT ON THE JOB SITE THAT MAY IMPACT THEIR SCOPE IN BOTH INSTANCES THE CONTRACTOR IS TO NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONCERNS. THE OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVIEW AND APPROVE ALL HARDSCAPE MATERIALS THROUGH THE REVIEW OF SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS AND MOCK-UPS.
 - THE HARDSCAPE CONTRACTOR SHALL COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL HARDSCAPE MATERIALS THROUGH THE REVIEW OF SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS AND MOCK-UPS.
 - THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING GRADE STAKES AND BENCH MARKS ESTABLISHED BY OTHERS UNTIL AUTHORIZED BY THE GENERAL CONTRACTOR FOR REMOVAL.
 - THE HARDSCAPE CONTRACTOR SHALL STORE ALL MATERIALS IN AN AREA TO BE DETERMINED BY THE OWNER. ALL EXCESS STORED MATERIALS MUST BE REMOVED PRIOR TO FINAL ACCEPTANCE FROM THE OWNER.
 - THE OWNER REFERS THE RIGHT TO DEFER ANY AND ALL REVIEW RESPONSIBILITIES RELATED TO HARDSCAPE TO THE PROJECT LANDSCAPE ARCHITECT OR OTHER AUTHORIZED REPRESENTATIVE.
 - THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR ENSURING PAVING SUBGRADE IS PROPERLY PREPARED AT THE TIME OF HARDSCAPE PLACEMENT. SOIL CONDITIONS MUST:
 - A. BE COMPACTED TO A MINIMUM DENSITY OF 98% MODIFIED PROCTOR PER ASTM D-1557.
 - B. BE FREE OF STONES, ROOTS, AND OTHER DEBRIS.
 - C. BE FREE OF LOOSE MATERIALS.
 - D. BE DAMPENED IMMEDIATELY PRIOR TO INSTALLATION.
 - E. BE DAMPENED IMMEDIATELY PRIOR TO INSTALLATION.
 - THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR DELIVERING AND STORING ALL MATERIALS IN THEIR ORIGINAL CONTAINERS IN A CLEAN, DRY CONDITION PRIOR TO THEIR INSTALLATION.
- ## HARDSCAPE SUBMITTALS REQUIRED
- THE PAVING CONTRACTOR IS REQUIRED TO PREPARE THE FOLLOWING MOCK-UPS FOR REVIEW AND APPROVAL. A MINIMUM OF THIRTY (30) DAYS PRIOR TO INTENDED DATE OF INSTALLATION:
 - A) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - B) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - C) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - D) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - E) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - F) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - G) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - H) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - I) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - J) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - K) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - L) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - M) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - N) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - O) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - P) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - Q) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - R) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - S) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - T) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - U) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - V) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - W) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - X) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - Y) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - Z) ONE 48" SQUARE PANEL OF EACH CONCRETE PAVEMENT TYPE.
 - THE HARDSCAPE CONTRACTOR IS REQUIRED TO SUBMIT EACH OF THE FOLLOWING TO THE OWNER FOR REVIEW AND APPROVAL AS THEY ARE AVAILABLE DURING THE COURSE OF CONSTRUCTION:
 - A) LABORATORY TEST REPORTS FOR CONCRETE YIELD, COMPRESSION AND SLUMP.
 - B) MATERIALS TEST REPORTS FOR CONCRETE YIELD, COMPRESSION AND SLUMP.
 - C) SHIPPING AND DELIVERY RECEIPTS FOR ALL MATERIALS.
 - D) DELIVERY TICKETS FOR EACH BATCH OF CONCRETE RECEIVED CONFIRMING COMPLIANCE WITH MIX DESIGN.
 - THE HARDSCAPE CONTRACTOR IS REQUIRED TO SUBMIT EACH OF THE FOLLOWING TO THE OWNER FOR REVIEW AND APPROVAL A MINIMUM OF TEN DAYS PRIOR TO FINAL WALK THROUGH:
 - A. DEVIATIONS FROM CONSTRUCTION PLANS, THESE PLANS ARE TO BE UPDATED BY THE CONTRACTOR AT LEAST WEEKLY THROUGHOUT THE CONSTRUCTION.
 - B. WRITTEN RECOMMENDATIONS FOR Ongoing MAINTENANCE PROGRAM (3 COPIES).
 - C. RELEASE OF LIEN FORM FROM THE HARDSCAPE CONTRACTOR (3 COPIES).
 - D. SIMILAR FORMS FROM ALL SUPPLIERS, VENDORS AND/OR SUBCONTRACTORS.

NOTE: FINAL PAYMENT WILL NOT BE AUTHORIZED PRIOR TO RECEIPT OF THIS DOCUMENTATION
 - IN THE EVENT THAT THE HARDSCAPE CONTRACTOR PROCEEDS WITH PURCHASING, DELIVERIES OR INSTALLATION OF MATERIALS WITHOUT THE APPROVAL OF THE OWNER, THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR SHALL, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.

PRECAST CONCRETE UNIT PAVING NOTES

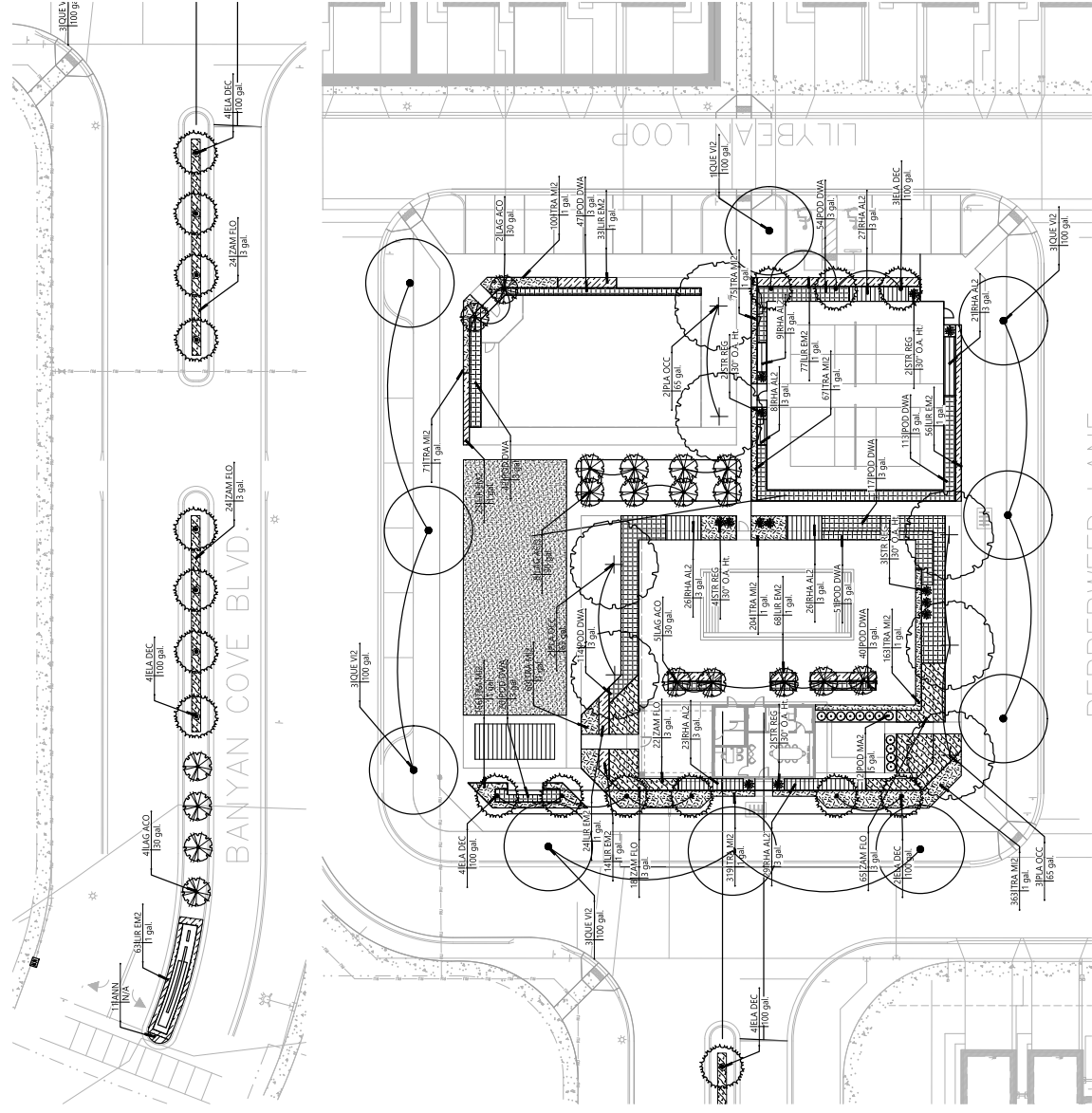
- THE CONTRACTOR IS REQUIRED TO PROVIDE AND INSTALL ALL CONCRETE UNIT PAVERS AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PURCHASING, DELIVERY, UNPACKING, INSTALLATION AND PROTECTION. THIS SCOPE WILL ENTAIL INSTALLATION OF PRECAST CONCRETE UNIT PAVERS.
 - THE PRODUCT SPECIFICATIONS SHOWN ON THE DRAWINGS ARE FOR BIDDING PURPOSES. THE OWNER RESERVES THE RIGHT TO REVIEW AND APPROVE ALL PAVERS PRIOR TO PROCUREMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUESTING SUBSTITUTION. IN ORDER TO BE CONSIDERED BY THE OWNER AS VIABLE ALTERNATES MATERIALS MUST SHARE THE SAME GENERAL APPEARANCE, FORM, SIZE, TEXTURE, COLOR AND QUALITY. MATERIALS MUST BE OFFERED AT NO ADDITIONAL COST TO THE OWNER.
 - A. MANUFACTURER'S DATA INCLUDING AT A MINIMUM: STRENGTH, DIMENSIONS AND COMPRESSION STRENGTH.
 - B. COLOR SAMPLES.
 - C. FOUR FULL-SIZE SAMPLES OF EACH ELEMENT.
 - D. SAMPLE WARRANTY.
 - UPON RECEIPT OF OWNER PRODUCT APPROVAL, THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AN ON-SITE MOCK-UP (MIN. 48" SQ.) OF EACH CONCRETE UNIT PAVING PATTERN. THE MOCK-UP WILL BE REVIEWED BY THE OWNER FOR APPROVAL OF PATTERN, JOINTING AND CUTTING. THE MOCK-UP SHALL BE USED AS A REFERENCE FOR THE FINAL INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR SHALL, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.
 - REFER TO THE HARDSCAPE LEGEND ON THE "HP" SHEETS FOR PRODUCT TYPE, SIZE AND COLOR.
 - CONCRETE UNIT PAVERS ARE TO BE SET HAND-TIGHT WITH BUTT JOINTS INTO SETTING BED.
 - 100% PASSING THROUGH A NO. 16 SIEVE AND NO MORE THAN 10% PASSING THROUGH A NO. 200 SIEVE.
 - THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT ALL CONCRETE UNIT PAVERS ARE DELIVERED TO THE PROJECT SITE WITH MANUFACTURER'S TAGS AND LABELS INTACT AND IN CLEAN, DRY LEGIBLE CONDITION. COPIES OF ALL SHIPPING TICKETS ARE TO BE SUBMITTED TO THE OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING ALL CONCRETE UNIT PAVERS ARRIVING ON-SITE PRIOR TO ACCEPTING DELIVERY. INSPECTION IS TO VERIFY CORRECT PRODUCT AND QUANTITY AS WELL AS TO VISUALLY INSPECT FOR ANY DAMAGE, BLEMISHES OR DEFECTS.
 - UPON RECEIPT OF DELIVERY THE CONTRACTOR ASSUMES RESPONSIBILITY FOR STORING, HANDLING AND MAINTAINING CONCRETE UNIT PAVERS IN A MANNER TO PREVENT DEFECTS, DAMAGE, CRACKS, CHIPS, STAINS, DISCOLORATION AND DISINTEGRATION.
 - PAVING SHALL BE COMPLETELY CLEAN AND FREE OF DAMAGES UPON FINAL PLACEMENT AND APPROVAL.
 - IT IS THE RESPONSIBILITY OF THE PAVING CONTRACTOR TO COORDINATE WITH THE GENERAL CONTRACTOR TO VERIFY SLOPE AND DEPTH OF THE SUB-SLAB OF THE EXISTING FACILITIES TO ACCOMMODATE PAVERS.
 - AT THE TIME OF PROJECT CLOSE-OUT THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A MINIMUM OF 100 SQ. FT. OF EACH CONCRETE UNIT PAVES TO BE HELD AS ATTIC STOCK FOR REPLACEMENT.
- ## HARDSCAPE LAYOUT & GRADING NOTES
- THE HARDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING THE LIMITS OF ALL PAVING AREAS AND SITE WALKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR SHALL, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.
 - ADJUSTMENTS TO LAYOUT AS PART OF THIS REVIEW. FAILURE BY THE HARDSCAPE CONTRACTOR TO MAKE THE NECESSARY ADJUSTMENTS TO THE LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR AT NO ADDITIONAL COSTS TO THE OWNER.
 - THE HARDSCAPE CONTRACTOR SHALL USE THE COORDINATE, ELEVATION AND DIMENSIONS INDICATED ON THE SITE/UTILITY PLANS TO STAKE ALL SITE ELEMENTS, PAVEMENT AND PAVEMENT PATTERNS. FINAL LIMITS OF PAVING AND JOINTING PATTERNS MAY BE ADJUSTED IN THE FIELD AT THE DISCRETION OF THE OWNER OR LANDSCAPE ARCHITECT.
 - THE HARDSCAPE CONTRACTOR SHALL COORDINATE THE LAYOUT OF THE PAVEMENT AND PAVEMENT PATTERNS WITH THE LOCATION OF THE DRAIN INLETS, MANHOLES, VALVE BOXES, PULL BOXES AND OTHER AT GRADE UTILITY ELEMENTS TO THE ACCEPTANCE OF THE OWNER AND LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR SHALL, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.
 - THE HARDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING GRADES PRIOR TO INSTALLING ANY PAVEMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT WORK, MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO THEIR ACTIVITIES. THE LANDSCAPE CONTRACTOR SHALL, BUT NOT LIMITED TO, SITE ACCESS, MATERIAL STORAGE, SCHEDULING AND SEQUENCING OF WORK. THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL SITE ISSUES WITH THE GENERAL CONTRACTOR.
 - A) MAXIMUM SLOPE IN DIRECTION OF WALK W/O HANDRAIL IS 1:20 OR 5%.
 - B) MAXIMUM SLOPE IN DIRECTION OF WALK W/ HANDRAIL (RAMP) IS 1:12 OR 8%.
 - C) MAXIMUM SLOPE IN DIRECTION OF WALK W/ HANDRAIL (RAMP) IS 1:12 OR 8%.
 - D) MAXIMUM VERTICAL CHANGE IN ANY SINGLE RAMP SECTION IS 30".
 - E) MAXIMUM CROSS SLOPE FOR ACCESSIBLE ROUTES IS 1:50 OR 2%.
 - F) THE CONTRACTOR IS TO NOTIFY THE OWNER IMMEDIATELY IF A FIELD CONDITION EXISTS THAT NOTE THESE SLOPES ARE ABSOLUTE MAXIMUMS AND DO NOT ALLOW FOR ANY ADDITIONAL CONSTRUCTION TOLERANCE.
 - THE HARDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING WITH GENERAL CONTRACTOR THAT ALL PROPOSED UNDERGROUND WORK, INCLUDING UTILITIES, CONDUIT, SLEEVES, DRAINAGE PIPES, ETC., HAVE BEEN INSTALLED PRIOR TO PREPARING AREA FOR HARDSCAPE. CONTRACTOR SHALL COORDINATE AND WORK CLOSELY WITH OTHER CONTRACTORS, TRADES TO AVOID DAMAGE TO THESE UNDERGROUND AND AT GRADE ELEMENTS. ANY DAMAGES SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
 - THE HARDSCAPE CONTRACTOR SHALL:
 - A) MATCH GRADES AT INTERFACES WITH ADJACENT PAVING TYPES OR BUILDING ENTRANCES.
 - B) VERIFY THAT THE CONDITION BETWEEN SURFACES IS FLUSH AND DOES NOT CREATE A TRIPPING HAZARD.
 - C) VERIFY THAT SURFACE DRAINAGE IS DIRECTED AWAY FROM ALL BUILDING ENTRANCES.



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
●	EIA DEC	17	Elaeagnus decipiens TM	Japanese Butterfly Tree	100 gal.
●	LAC ACO	19	Lagerströmia a. Acum.	Cape Myrtle	30 gal.
●	PLA OCC	7	Platanus occidentalis	American Sycamore	65 gal.
●	QUE V2	10	Quercus virginiana	Live Oak	100 gal.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
●	POD MA2	12	Podocarpus macrophyllus	Yew Pine	5 gal.
●	STR REG	13	Sterea reginae	Bird Of Paradise	30" O.A. Ht.
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
■	POD DWA	508	Podocarpus macrophyllus Dwarf Pringles	Dwarf Podocarpus	3 gal.
■	RHA AL2	169	Raphanistrum indica Alba	White Indian Hawthorn	3 gal.
■	ZAM FLO	153	Zamia floridana	Coastal Palm	3 gal.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
■	ANN	11	Annalis - Seasonal	Seasonal Varieties	N/A
■	LIR EM2	358	Liriodendron tulipifera Emerald Goddess	Liriodendron	1 gal.
■	STR AUG	3,153	Stereisporium secundatum Thozant	Florida St. Augustine Grass	sod
■	TMA M2	1,578	Trachypogon nutans Molinea	Molinea Jasmine	1 gal.

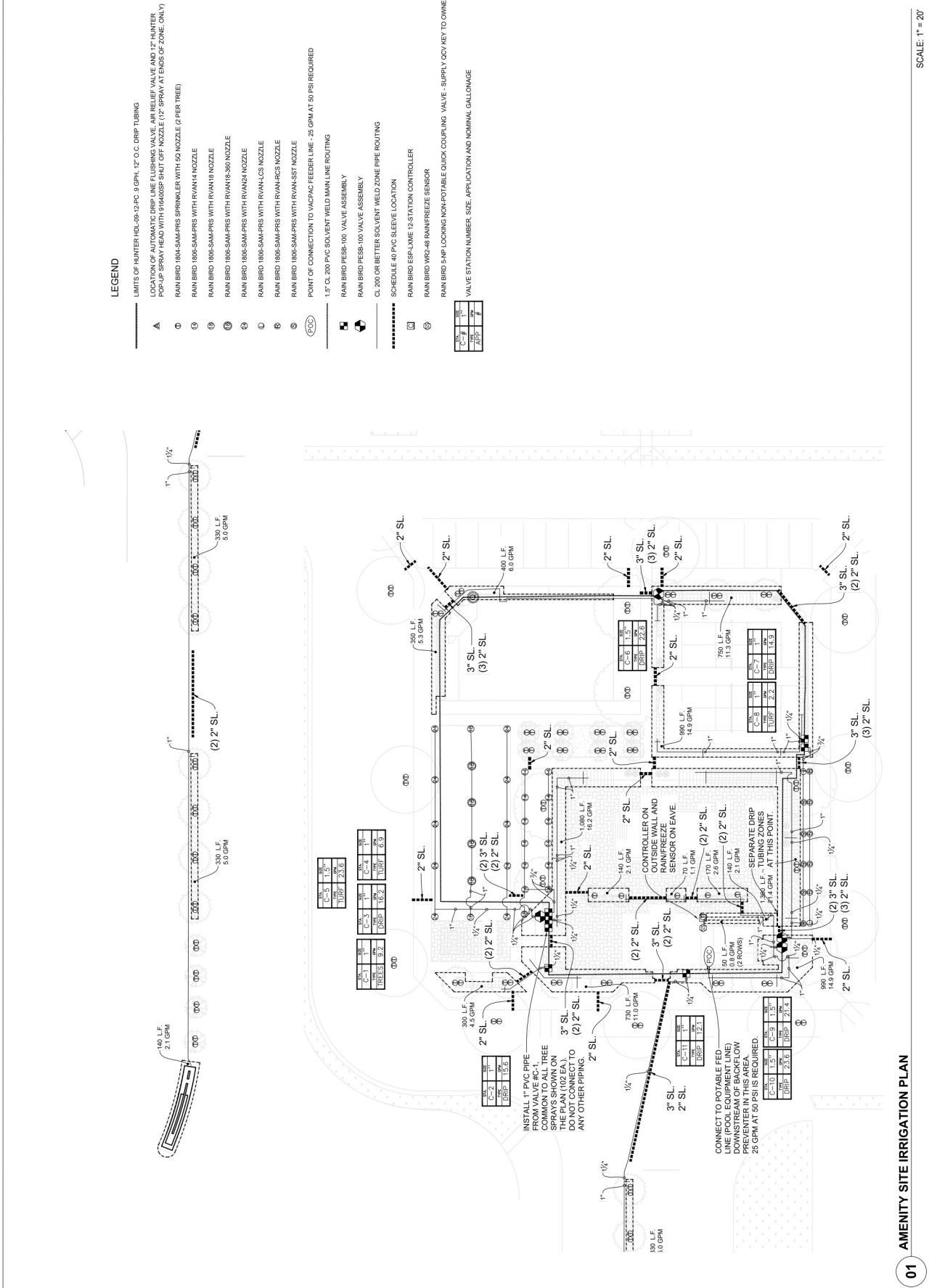
ALL PLANTING AREAS NOT CALLED AS TREE WELLS, SHRUBS, GROUNDCOVER OR SOD TO BE UNIRRIGATED BAHIA SOD.

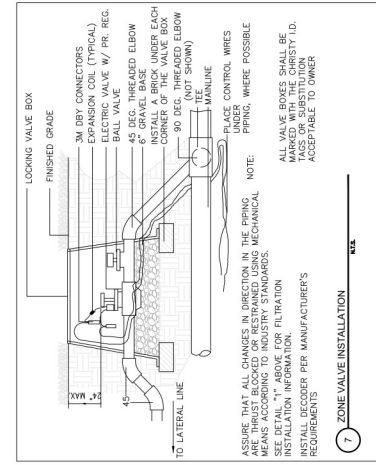


01 AMENITY SITE PLANTING PLAN

SCALE: 1"= 20'







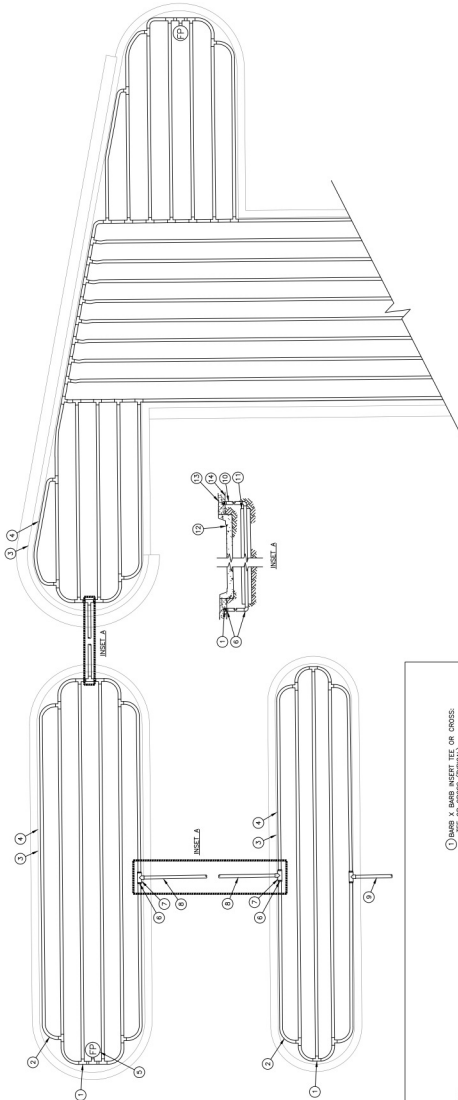
DATE	REV	DESCRIPTION
05/05/20	001	ISSUED FOR PERMIT
05/05/20	002	ISSUED FOR PERMIT
05/05/20	003	ISSUED FOR PERMIT
05/05/20	004	ISSUED FOR PERMIT
05/05/20	005	ISSUED FOR PERMIT
05/05/20	006	ISSUED FOR PERMIT
05/05/20	007	ISSUED FOR PERMIT
05/05/20	008	ISSUED FOR PERMIT
05/05/20	009	ISSUED FOR PERMIT
05/05/20	010	ISSUED FOR PERMIT
05/05/20	011	ISSUED FOR PERMIT
05/05/20	012	ISSUED FOR PERMIT
05/05/20	013	ISSUED FOR PERMIT
05/05/20	014	ISSUED FOR PERMIT
05/05/20	015	ISSUED FOR PERMIT
05/05/20	016	ISSUED FOR PERMIT
05/05/20	017	ISSUED FOR PERMIT
05/05/20	018	ISSUED FOR PERMIT
05/05/20	019	ISSUED FOR PERMIT
05/05/20	020	ISSUED FOR PERMIT

DATE	REV	DESCRIPTION
01/24/2023	01	ISSUED FOR PERMIT
01/24/2023	02	ISSUED FOR PERMIT
01/24/2023	03	ISSUED FOR PERMIT
01/24/2023	04	ISSUED FOR PERMIT
01/24/2023	05	ISSUED FOR PERMIT
01/24/2023	06	ISSUED FOR PERMIT
01/24/2023	07	ISSUED FOR PERMIT
01/24/2023	08	ISSUED FOR PERMIT
01/24/2023	09	ISSUED FOR PERMIT
01/24/2023	10	ISSUED FOR PERMIT
01/24/2023	11	ISSUED FOR PERMIT
01/24/2023	12	ISSUED FOR PERMIT
01/24/2023	13	ISSUED FOR PERMIT
01/24/2023	14	ISSUED FOR PERMIT
01/24/2023	15	ISSUED FOR PERMIT
01/24/2023	16	ISSUED FOR PERMIT
01/24/2023	17	ISSUED FOR PERMIT
01/24/2023	18	ISSUED FOR PERMIT
01/24/2023	19	ISSUED FOR PERMIT
01/24/2023	20	ISSUED FOR PERMIT



Design prepared by:
Gregory W. Johnson
Landscape Architect
07-53262-0007

JOB NUMBER: 230321-03



- NOTES:
1. USE 1/2" POLYETHYLENE GLASS REINFORCED (PEGR) LATERAL LINES AND HUNTER SPRING PLANT MATERIALS AND CHANGES TO ELUATION. SEE INSTALLATION SPECIFICATIONS ON HUNTER WEB SITE. (WWW.HUNTER-IRRI.COM)
 2. LAYOUT OF LARGEST SPRING LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING.
 3. ACCOMPANYING TABLE (CONCRETE) DRIP ASSESSMENT BY DESIGN CONSULTANT (SEE DRAWINGS AND SPECIFICATIONS) FOR LATERAL LINES.
 4. HUNTER SPRING LATERAL LINES SHOULD BE INSTALLED ON A 12" DEPTH OF SAND, FOUR FEET IN.
 5. SEE ATTACHED DETAIL FOR MAXIMUM SPACING.
1. HUNTER SPRING LATERAL LINES AND HUNTER SPRING PLANT MATERIALS AND CHANGES TO ELUATION. SEE INSTALLATION SPECIFICATIONS ON HUNTER WEB SITE. (WWW.HUNTER-IRRI.COM)

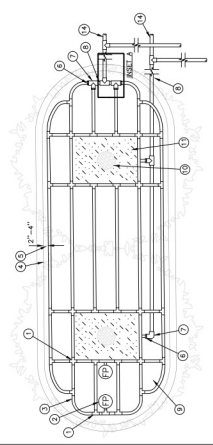
2. LAYOUT OF LARGEST SPRING LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING.

3. ACCOMPANYING TABLE (CONCRETE) DRIP ASSESSMENT BY DESIGN CONSULTANT (SEE DRAWINGS AND SPECIFICATIONS) FOR LATERAL LINES.

4. HUNTER SPRING LATERAL LINES SHOULD BE INSTALLED ON A 12" DEPTH OF SAND, FOUR FEET IN.

5. SEE ATTACHED DETAIL FOR MAXIMUM SPACING.

1 HUNTER SPRING LATERAL LINES AND HUNTER SPRING PLANT MATERIALS AND CHANGES TO ELUATION. SEE INSTALLATION SPECIFICATIONS ON HUNTER WEB SITE. (WWW.HUNTER-IRRI.COM)



- NOTES:
1. USE 1/2" POLYETHYLENE GLASS REINFORCED (PEGR) LATERAL LINES AND HUNTER SPRING PLANT MATERIALS AND CHANGES TO ELUATION. SEE INSTALLATION SPECIFICATIONS ON HUNTER WEB SITE. (WWW.HUNTER-IRRI.COM)
 2. LAYOUT OF LARGEST SPRING LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING.
 3. ACCOMPANYING TABLE (CONCRETE) DRIP ASSESSMENT BY DESIGN CONSULTANT (SEE DRAWINGS AND SPECIFICATIONS) FOR LATERAL LINES.
 4. HUNTER SPRING LATERAL LINES SHOULD BE INSTALLED ON A 12" DEPTH OF SAND, FOUR FEET IN.
 5. SEE ATTACHED DETAIL FOR MAXIMUM SPACING.
1. HUNTER SPRING LATERAL LINES AND HUNTER SPRING PLANT MATERIALS AND CHANGES TO ELUATION. SEE INSTALLATION SPECIFICATIONS ON HUNTER WEB SITE. (WWW.HUNTER-IRRI.COM)

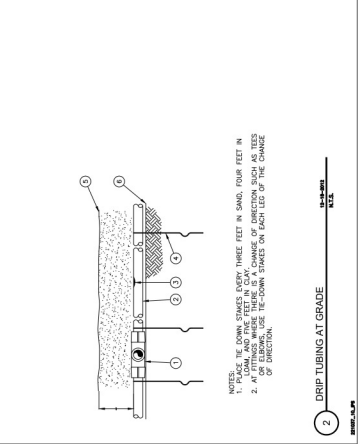
2. LAYOUT OF LARGEST SPRING LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING.

3. ACCOMPANYING TABLE (CONCRETE) DRIP ASSESSMENT BY DESIGN CONSULTANT (SEE DRAWINGS AND SPECIFICATIONS) FOR LATERAL LINES.

4. HUNTER SPRING LATERAL LINES SHOULD BE INSTALLED ON A 12" DEPTH OF SAND, FOUR FEET IN.

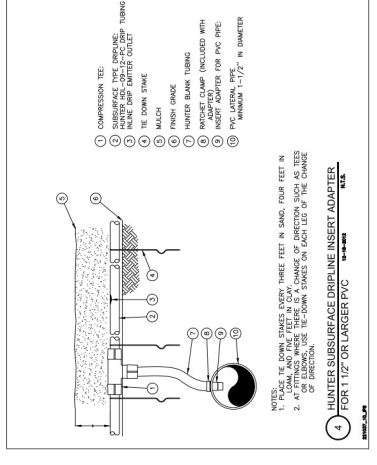
5. SEE ATTACHED DETAIL FOR MAXIMUM SPACING.

3 PARKING ISLAND DRIP TUBING



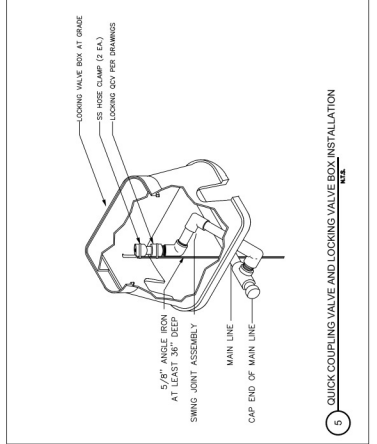
- NOTES:
1. PLACE TE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION, SUCH AS TEES OR ELBOWS, USE TE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

2 DRIP TUBING AT GRADE



- NOTES:
1. PLACE TE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION, SUCH AS TEES OR ELBOWS, USE TE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

4 HUNTER SUBSURFACE DRIPLINE INSERT ADAPTER FOR 1 1/2" OR LARGER PVC

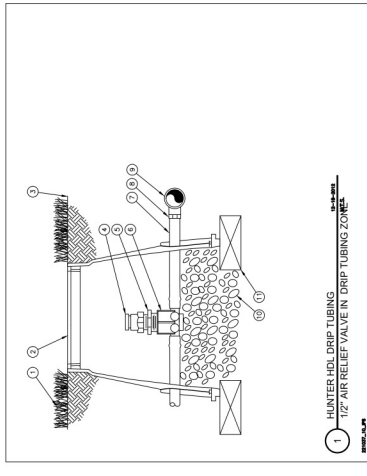


5 QUICK COUPLING VALVE AND LOCKING VALVE BOX INSTALLATION

DATE	REV	DESCRIPTION
05/05/20	001	
05/05/20	002	
05/05/20	003	
05/05/20	004	
05/05/20	005	
05/05/20	006	
05/05/20	007	
05/05/20	008	
05/05/20	009	
05/05/20	010	
05/05/20	011	
05/05/20	012	
05/05/20	013	
05/05/20	014	
05/05/20	015	
05/05/20	016	
05/05/20	017	
05/05/20	018	
05/05/20	019	
05/05/20	020	
05/05/20	021	
05/05/20	022	
05/05/20	023	
05/05/20	024	
05/05/20	025	
05/05/20	026	
05/05/20	027	
05/05/20	028	
05/05/20	029	
05/05/20	030	
05/05/20	031	
05/05/20	032	
05/05/20	033	
05/05/20	034	
05/05/20	035	
05/05/20	036	
05/05/20	037	
05/05/20	038	
05/05/20	039	
05/05/20	040	
05/05/20	041	
05/05/20	042	
05/05/20	043	
05/05/20	044	
05/05/20	045	
05/05/20	046	
05/05/20	047	
05/05/20	048	
05/05/20	049	
05/05/20	050	

REVISIONS

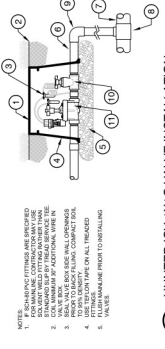
NO.	DATE	DESCRIPTION
1	05/05/20	ISSUED FOR PERMIT
2	05/05/20	ISSUED FOR PERMIT
3	05/05/20	ISSUED FOR PERMIT
4	05/05/20	ISSUED FOR PERMIT
5	05/05/20	ISSUED FOR PERMIT
6	05/05/20	ISSUED FOR PERMIT
7	05/05/20	ISSUED FOR PERMIT
8	05/05/20	ISSUED FOR PERMIT
9	05/05/20	ISSUED FOR PERMIT
10	05/05/20	ISSUED FOR PERMIT
11	05/05/20	ISSUED FOR PERMIT
12	05/05/20	ISSUED FOR PERMIT
13	05/05/20	ISSUED FOR PERMIT
14	05/05/20	ISSUED FOR PERMIT
15	05/05/20	ISSUED FOR PERMIT
16	05/05/20	ISSUED FOR PERMIT
17	05/05/20	ISSUED FOR PERMIT
18	05/05/20	ISSUED FOR PERMIT
19	05/05/20	ISSUED FOR PERMIT
20	05/05/20	ISSUED FOR PERMIT
21	05/05/20	ISSUED FOR PERMIT
22	05/05/20	ISSUED FOR PERMIT
23	05/05/20	ISSUED FOR PERMIT
24	05/05/20	ISSUED FOR PERMIT
25	05/05/20	ISSUED FOR PERMIT
26	05/05/20	ISSUED FOR PERMIT
27	05/05/20	ISSUED FOR PERMIT
28	05/05/20	ISSUED FOR PERMIT
29	05/05/20	ISSUED FOR PERMIT
30	05/05/20	ISSUED FOR PERMIT
31	05/05/20	ISSUED FOR PERMIT
32	05/05/20	ISSUED FOR PERMIT
33	05/05/20	ISSUED FOR PERMIT
34	05/05/20	ISSUED FOR PERMIT
35	05/05/20	ISSUED FOR PERMIT
36	05/05/20	ISSUED FOR PERMIT
37	05/05/20	ISSUED FOR PERMIT
38	05/05/20	ISSUED FOR PERMIT
39	05/05/20	ISSUED FOR PERMIT
40	05/05/20	ISSUED FOR PERMIT
41	05/05/20	ISSUED FOR PERMIT
42	05/05/20	ISSUED FOR PERMIT
43	05/05/20	ISSUED FOR PERMIT
44	05/05/20	ISSUED FOR PERMIT
45	05/05/20	ISSUED FOR PERMIT
46	05/05/20	ISSUED FOR PERMIT
47	05/05/20	ISSUED FOR PERMIT
48	05/05/20	ISSUED FOR PERMIT
49	05/05/20	ISSUED FOR PERMIT
50	05/05/20	ISSUED FOR PERMIT
51	05/05/20	ISSUED FOR PERMIT
52	05/05/20	ISSUED FOR PERMIT
53	05/05/20	ISSUED FOR PERMIT
54	05/05/20	ISSUED FOR PERMIT
55	05/05/20	ISSUED FOR PERMIT
56	05/05/20	ISSUED FOR PERMIT
57	05/05/20	ISSUED FOR PERMIT
58	05/05/20	ISSUED FOR PERMIT
59	05/05/20	ISSUED FOR PERMIT
60	05/05/20	ISSUED FOR PERMIT
61	05/05/20	ISSUED FOR PERMIT
62	05/05/20	ISSUED FOR PERMIT
63	05/05/20	ISSUED FOR PERMIT
64	05/05/20	ISSUED FOR PERMIT
65	05/05/20	ISSUED FOR PERMIT
66	05/05/20	ISSUED FOR PERMIT
67	05/05/20	ISSUED FOR PERMIT
68	05/05/20	ISSUED FOR PERMIT
69	05/05/20	ISSUED FOR PERMIT
70	05/05/20	ISSUED FOR PERMIT
71	05/05/20	ISSUED FOR PERMIT
72	05/05/20	ISSUED FOR PERMIT
73	05/05/20	ISSUED FOR PERMIT
74	05/05/20	ISSUED FOR PERMIT
75	05/05/20	ISSUED FOR PERMIT
76	05/05/20	ISSUED FOR PERMIT
77	05/05/20	ISSUED FOR PERMIT
78	05/05/20	ISSUED FOR PERMIT
79	05/05/20	ISSUED FOR PERMIT
80	05/05/20	ISSUED FOR PERMIT
81	05/05/20	ISSUED FOR PERMIT
82	05/05/20	ISSUED FOR PERMIT
83	05/05/20	ISSUED FOR PERMIT
84	05/05/20	ISSUED FOR PERMIT
85	05/05/20	ISSUED FOR PERMIT
86	05/05/20	ISSUED FOR PERMIT
87	05/05/20	ISSUED FOR PERMIT
88	05/05/20	ISSUED FOR PERMIT
89	05/05/20	ISSUED FOR PERMIT
90	05/05/20	ISSUED FOR PERMIT
91	05/05/20	ISSUED FOR PERMIT
92	05/05/20	ISSUED FOR PERMIT
93	05/05/20	ISSUED FOR PERMIT
94	05/05/20	ISSUED FOR PERMIT
95	05/05/20	ISSUED FOR PERMIT
96	05/05/20	ISSUED FOR PERMIT
97	05/05/20	ISSUED FOR PERMIT
98	05/05/20	ISSUED FOR PERMIT
99	05/05/20	ISSUED FOR PERMIT
100	05/05/20	ISSUED FOR PERMIT



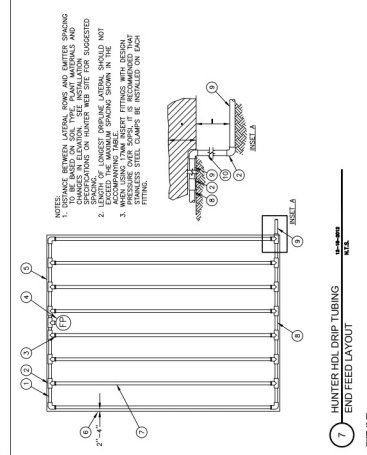
1 HUNTER HXL Drip Tubing
12" AIR RELIEF VALVE IN DRIP TUBING ZONE

CONVENTIONAL WIRING APPLICATIONS

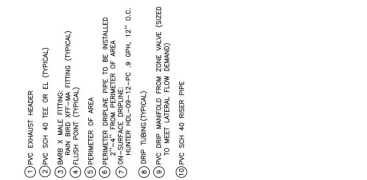
1. VALVE BOX WITH LIFT FLUSH WITH FINISHED GRADE
2. FINISH GRADE
3. WIRE SPACE KIT (1 OF 2)
4. MAINLINE FITTING SEE SPECIFICATIONS FOR TYPE
5. FILTER FABRIC
6. 1/2" AIR RELIEF VALVE SAME SIZE AS SOLIDLINE VALVE
7. 3/4" GRAVEL
8. HUNTER ICV-1X1G OR 1X1G VALVE



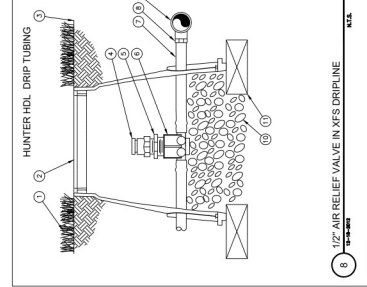
2 HUNTER ICV-1X1G VALVE INSTALLATION
WITH GATE VALVE



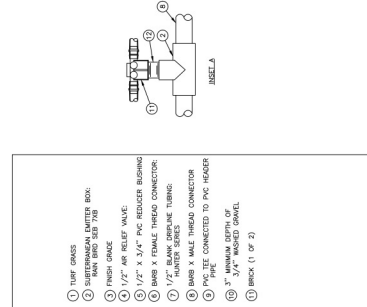
3 HUNTER HXL Drip Tubing
END FEED LAYOUT



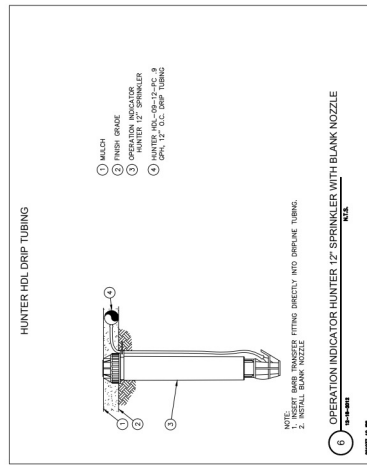
4 HUNTER HXL Drip Tubing
REGULAR SHARED LAYOUT



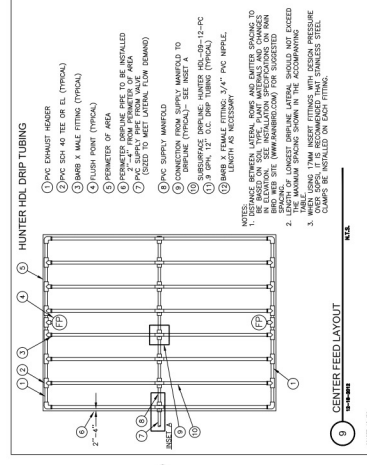
5 HUNTER HXL Drip Tubing
12" AIR RELIEF VALVE IN XFS DRIPLINE



6 HUNTER HXL Drip Tubing
CENTER FEED LAYOUT



7 HUNTER HXL Drip Tubing
OPERATION INDICATOR HUNTER 12" SPRINKLER WITH BLANK NOZZLE



8 HUNTER HXL Drip Tubing
HUNTER HXL Drip Tubing

