

1771
DAYTONA
FLORIDA SERIES
35' X 70'



REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY
1	05-15-20	-ADDED PANTRY TO STANDARD 4 STUDY FLOOR PLANS	C.C.
2	05-28-20	-COMPLETED VR FRAME WALK REVISIONS	C.C.
3	06-29-20	-REVISED OVERHANGS FROM 16" TO 12"	C.C.
4	08-25-20	-REVISED FRONT ENTRY COLUMNS	C.C.

SHEET INDEX:

00	COVER SHEET
00.1	GENERAL NOTES
01.0	SLAB INTERFACE PLAN "A"
02.0	FLOOR PLAN W/ NOTES "A"
02.1	FLOOR PLAN W/ DIMENSIONS "A"
03.A	EXTERIOR ELEVS.- FRONT/ REAR "A"
03.1A	EXTERIOR ELEVS.- LEFT/ RIGHT "A"
04.0	ROOF PLAN "A"
E1	UTILITY PLAN "A"
AD1	DETAILS
07.0	FOUNDATION PLAN "A"
08A.1	TRUSS LAYOUT "A"
09.1	PRECAST LINTEL LAYOUT "A"
D1	TYPICAL STRUCTURAL DETAILS
D2	TYPICAL STRUCTURAL DETAILS
D3	TYPICAL STRUCTURAL DETAILS
D4	TYPICAL STRUCTURAL DETAILS
D5	TYPICAL STRUCTURAL DETAILS

SHEET INDEX:

00	COVER SHEET
00.1	GENERAL NOTES
01.0	SLAB INTERFACE PLAN "B"
02.0	FLOOR PLAN W/ NOTES "B"
02.1	FLOOR PLAN W/ DIMENSIONS "B"
03.B	EXTERIOR ELEVS.- FRONT/ REAR "B"
03.1B	EXTERIOR ELEVS.- LEFT/ RIGHT "B"
04.0	ROOF PLAN "B"
E1	UTILITY PLAN "B"
AD1	DETAILS
07.0	FOUNDATION PLAN "B"
08B.1	TRUSS LAYOUT "B"
09.1	PRECAST LINTEL LAYOUT "B"
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D5	TYPICAL STRUCTURAL DETAILS

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00	COVER SHEET
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01.0	SLAB INTERFACE PLAN "C"
02.0	FLOOR PLAN W/ NOTES "C"
02.1	FLOOR PLAN W/ DIMENSIONS "C"
03.C	EXTERIOR ELEVS.- FRONT/ REAR "C"
03.1C	EXTERIOR ELEVS.- LEFT/ RIGHT "C"
04.0	ROOF PLAN "C"
E1	UTILITY PLAN "C"
AD1	DETAILS
07.0	FOUNDATION PLAN "C"
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LOT: 0000, COMMUNITY

1771 DAYTONA
FLORIDA SERIES

REVISIONS
DELTA #
DATE: 06-05-25
SCALE: AS NOTED
DRAWN: MR
SHEET: 00

COVER SHEET

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TO SUIT EQUIP. FURN

4" TYP. SIDES

CONDENSOR UNIT

6"

8HT. ANGLE BRACKETS OR 2" WIDE 20ga GALV. STEEL STRAPS

PAD ABOVE BASE FLOOD ELEVATION

4" THICK CONC. PAD-SEE PLAN FOR UNIT LOCATION

REFRIGERANT PIPING TO AIR HANDLING UNIT

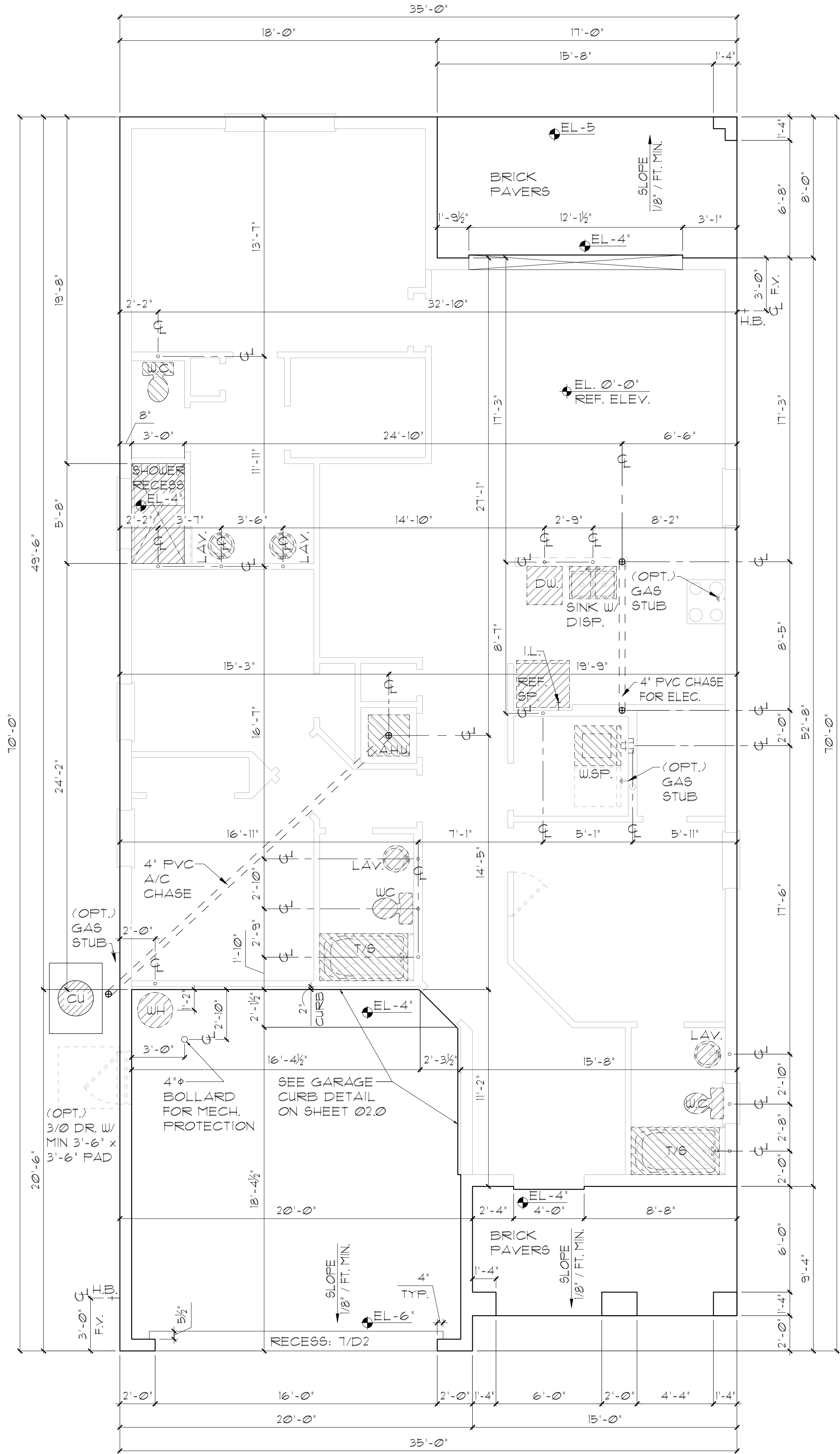
CONNECT TO UNIT W/ #14 SHEET METAL SCREWS W/ GASKETED WASHERS & CONNECT TO PAD W/ 1/4"X 1-1/4" TAPCON SCREW OR 3/8" BOLT. SEE TABLE FOR QTY. PER SIDE.

ANCHOR SPACING TABLE	
LENGTH / SIDE	NO. OF ANCHOR/SIDES
LESS THAN 12'	ONE / SIDE
12' - 24'	TWO / SIDE
24' - 36'	THREE / SIDE
36' UP & BEYOND	FOUR / SIDE

1

COND. ANCHOR DET.

N.T.S.



ELEVATION A,B,C STD
SLAB INTERFACE PLAN
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FOUNDATION NOTES

1. CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPER-VISOR FOR CLARIFICATION.
3. WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR. WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE.
4. PAVERS MAY BE USED I.L.O. CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED. VERIFY W/ COMMUNITY SPECIFICATIONS
5. MECHANICAL EQUIP. LOCATIONS TO BE FIELD VERIFIED & MAY BE DEPENDANT UPON COMMUNITY AND MUNICIPALITY CODES.
6. IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITES TREATED SOIL CAN BE TERMICIDE.
7. BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO FBC-R- CURRENT EDITION.

THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 8th EDITION, 2003 OF THE FLORIDA BUILDING CODE-RESIDENTIAL AND IS CERTIFIED AS SUCH

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Phone: (407) 529 - 3000

Park
Square
HOMES

SLAB INTERFACE PLAN

1771 DAYTONA

FLORIDA SERIES

REVISIONS

DELTA #	DATE
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DATE:	06-05-25
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SCALE:	AS NOTED
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DRAWN:	MR
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SHEET:	01.0
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OPTIONS

SLAB INTERFACE PLAN

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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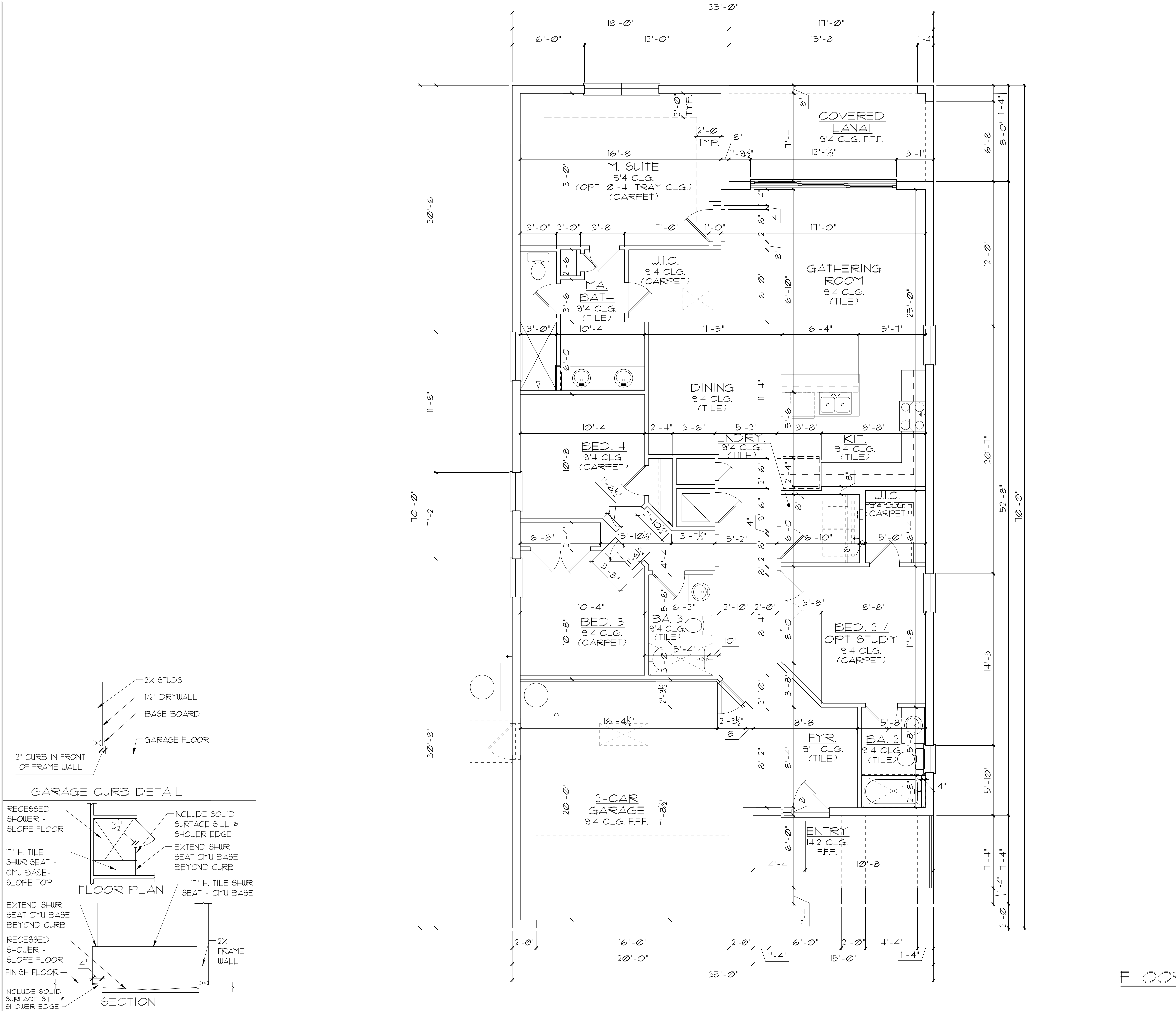
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Orlando, Florida 32811
Phone: (407) 529 - 3000

Park Square HOMES

SLAB INTERFACE PLAN

TEG
THOMPSON ENGINEERING GROUP, INC.
401 Vineland Road Suite A6 Orlando, FL, 32811
Ph: (407) 734-1450
Fax: (407) 734-1790



GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
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- ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3-1/2" UNLESS NOTED OTHERWISE.
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- GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GAR. SIDE. PROVIDE 5/8" TYPE 'X' GYP. BD. AT CEILING ONLY APPLIED PERPENDICULAR TO CEILING FRAME.
- PULL ALL DIMENSIONS FROM THE REAR OF THE PLAN.
- SEE GENERAL NOTES PAGE FOR ADDITIONAL INFO.

WALL LEGEND

DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF.

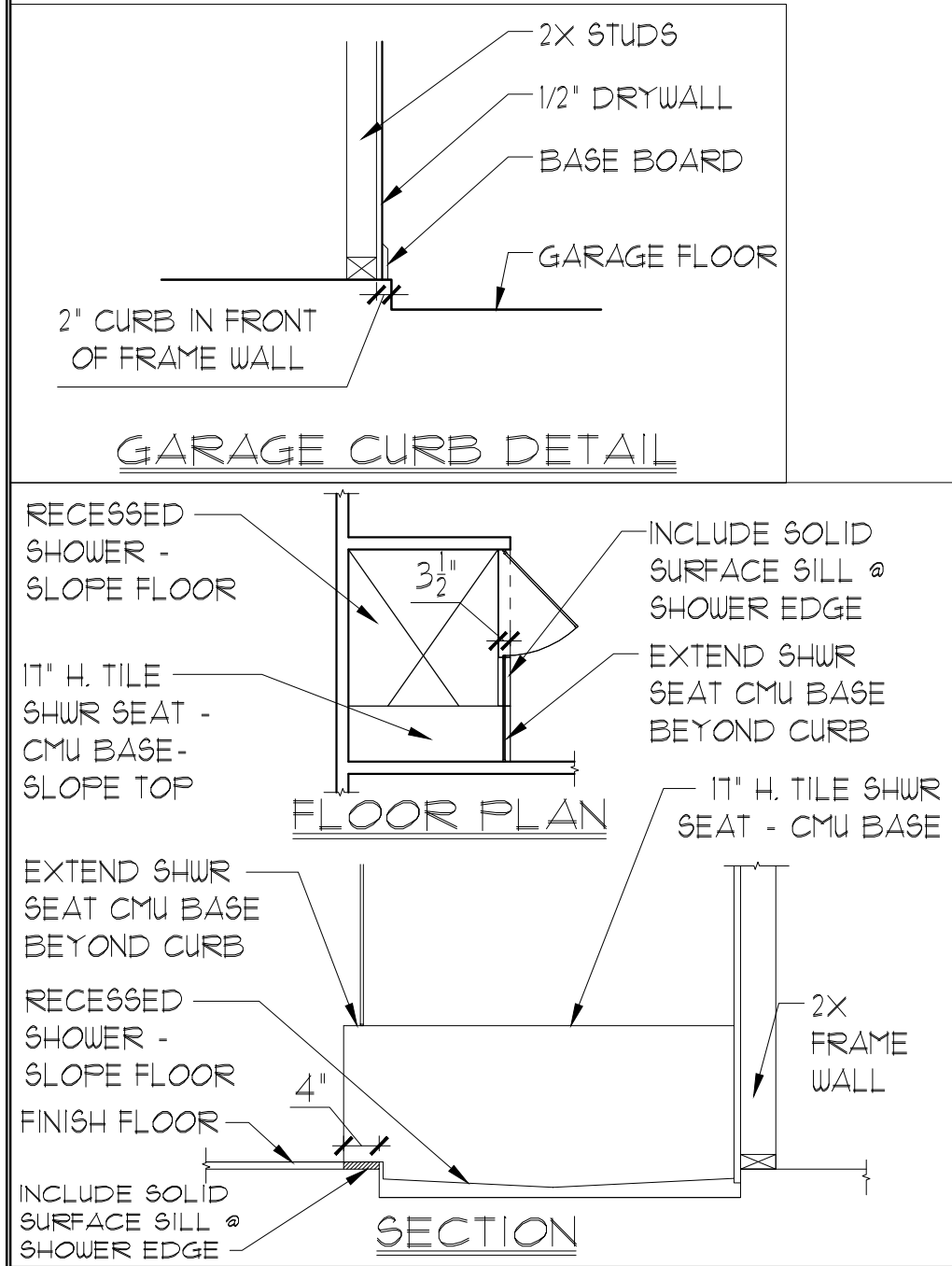
DENOTES CONC. BLOCK WALL HGT. @ 14'-2" AFF.

DENOTES 2x INSULATED FRAME WALL

NOTE: SEE COLOR SHEET FOR FLOORING & INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS	
TOTAL LIVING	1,711 SF.
GARAGE	403 SF.
ENTRY	110 SF.
LANAI	136 SF.
TOTAL UNDER ROOF	2,420 SF.

ELEVATION A,B,C STD
FLOOR PLAN W/ DIMENSIONS
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



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Park Square HOMES

FLOOR PLAN
W/ DIMENSIONS

1771 DAYTONA
FLORIDA SERIES

GENERAL NOTES

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6. GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GAR. SIDE, PROVIDE 5/8" TYPE 'X' GYP. BD. AT CEILING ONLY APPLIED PERPENDICULAR TO CEILING FRAME.
7. PULL ALL DIMENSIONS FROM THE REAR OF THE PLAN.
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FLOOR PLAN w/ NOTES

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Park Square HOMES

FLORIDA SERIES

REVISIONS

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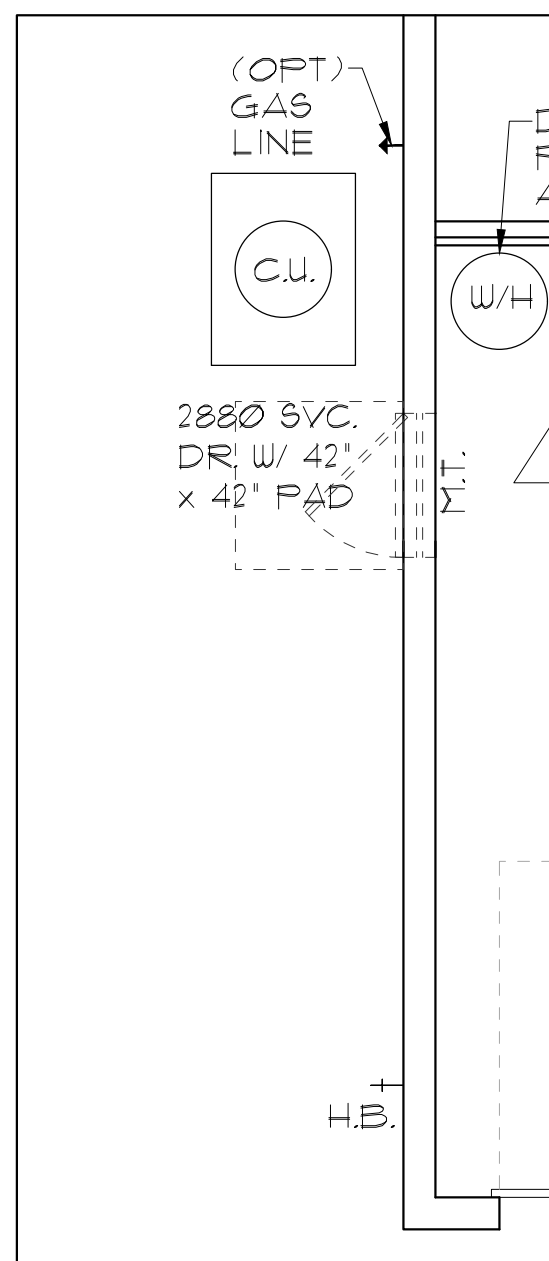
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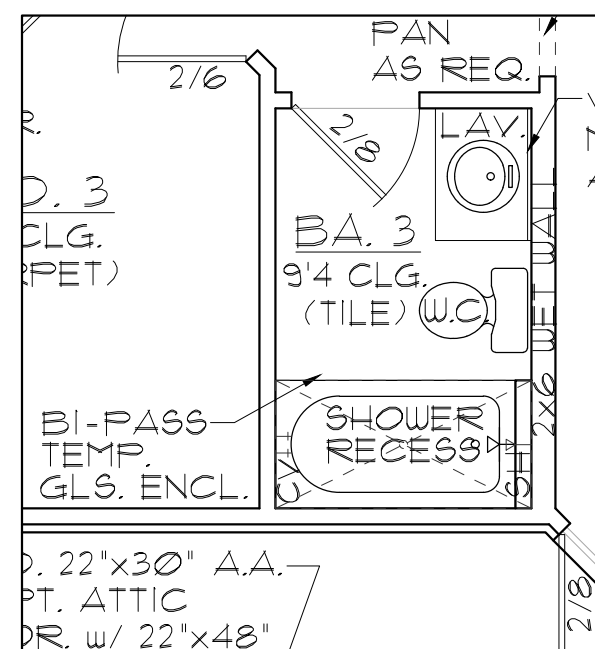
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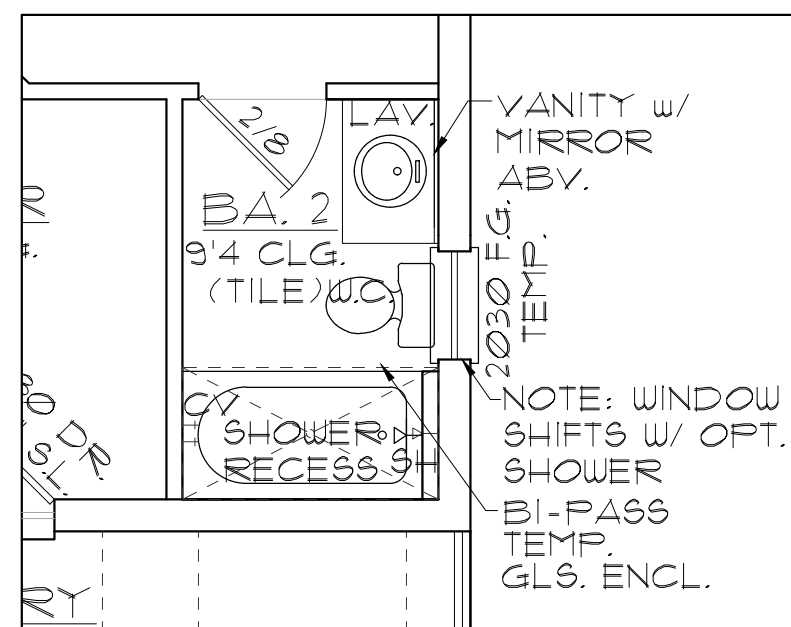
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OPT. GARAGE
SERVICE DOOR



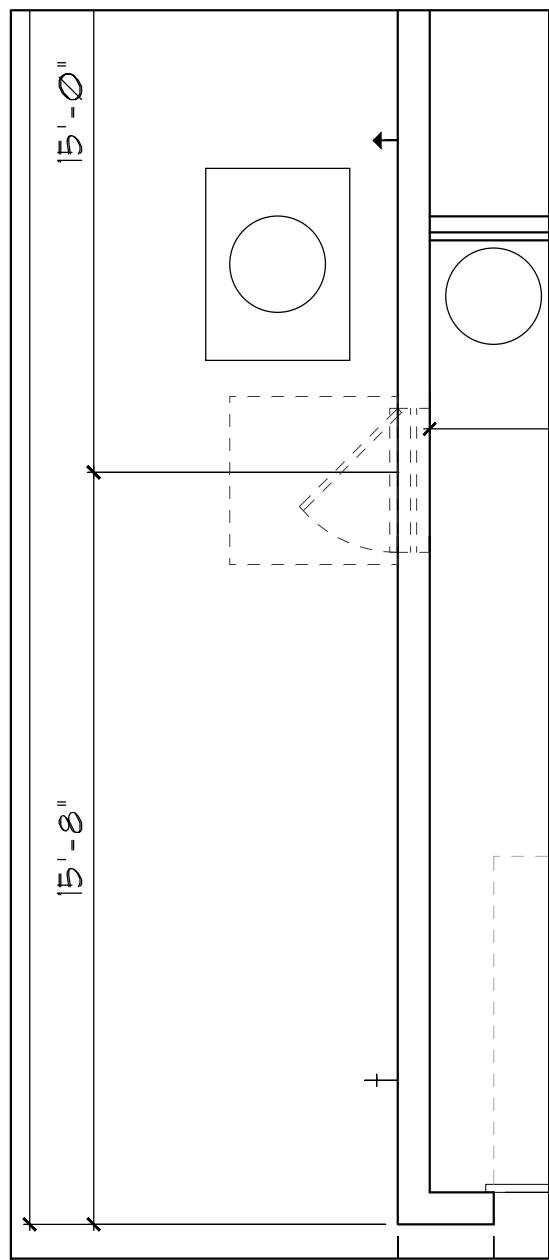
OPT. SHOWER
@ BATH 3



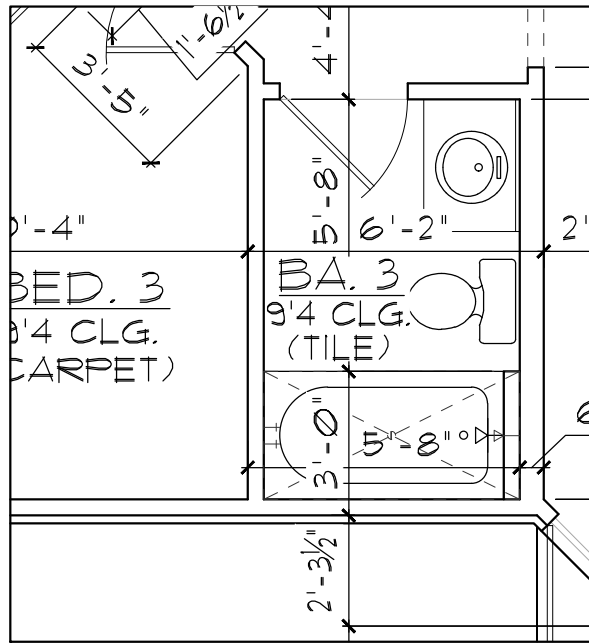
OPT. SHOWER
@ BATH 2

FLOOR PLAN W/ NOTES

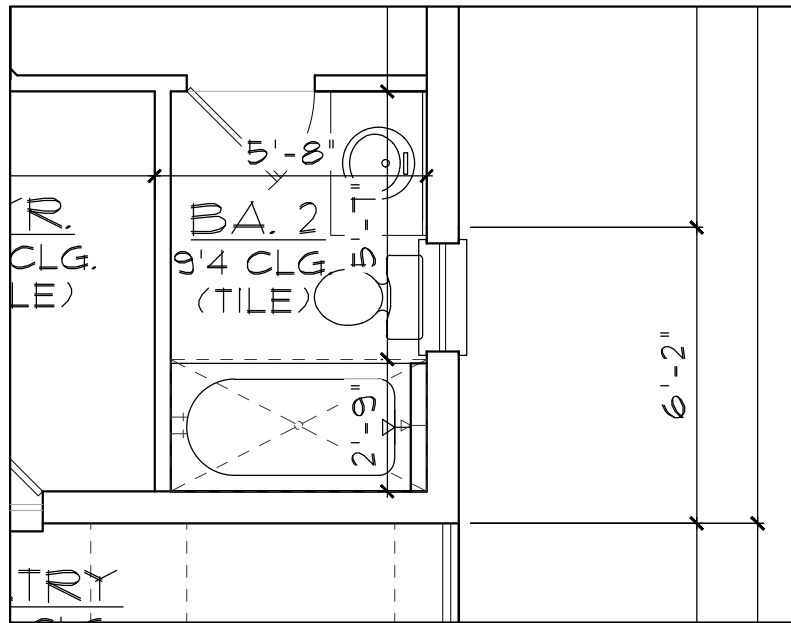
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



OPT. GARAGE
SERVICE DOOR



OPT. SHOWER
@ BATH 3



OPT. SHOWER
@ BATH 2

OPTIONS
FLOOR PLAN W/ DIMENSIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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NOTE: SEE COLOR SHEET FOR FLOORING &
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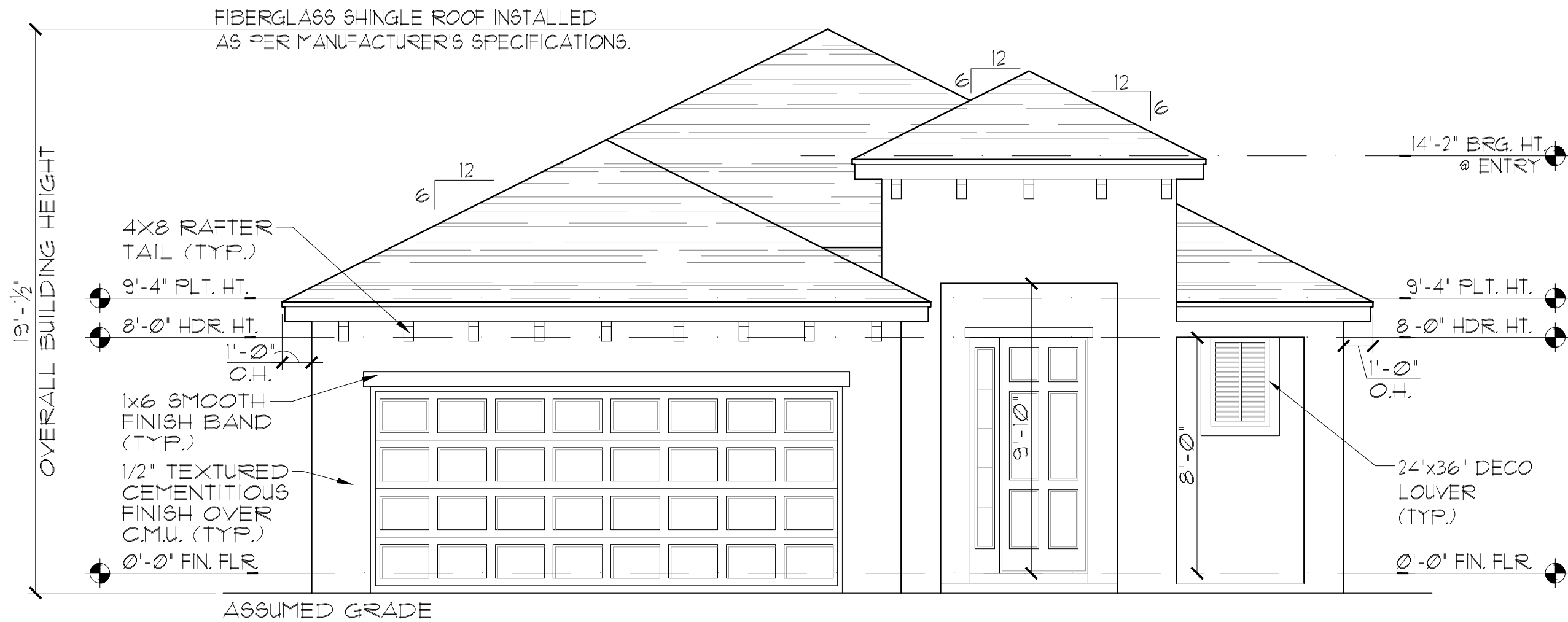
FLOOR PLAN
W/ DIMENSIONS

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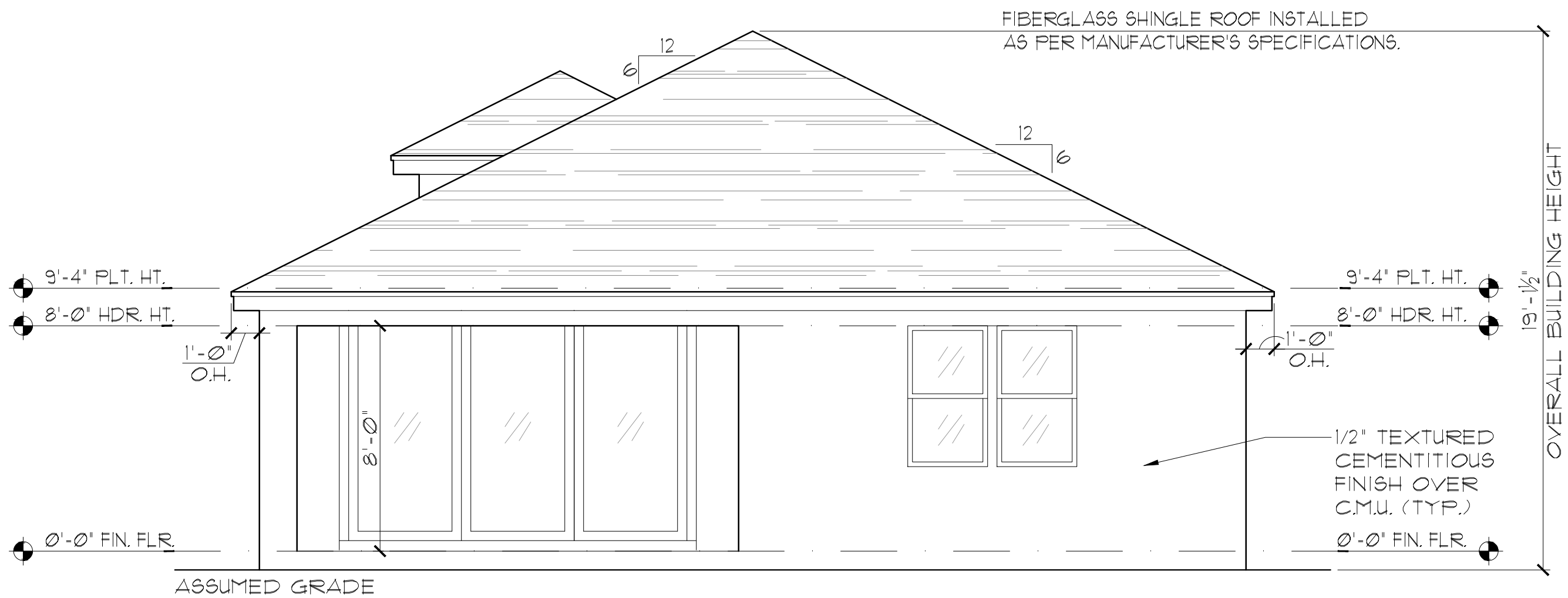
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ELEVATION A STD
FRONT ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



ELEVATION A STD
REAR ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

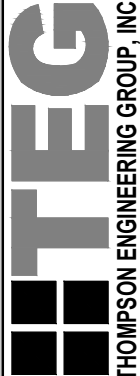
EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C1063 OR C1181.
2. PLASTERING TO BE INSTALLED IAW R103.1 & R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C926.
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.2 & R103.1.3 OF THE 8TH EDITION, FBC-R, 2023.
5. FLASHING TO BE INSTALLED IAW R103.4 OF THE 8TH EDITION, FBC-R, 2023.
6. WIND RESISTANCE OF WALL COVERINGS & BACK MATERIALS SHALL BE IAW R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.
8. ALL FIBER CEMENT SIDING SHALL BE IAW R103.1 OF THE 8TH EDITION, FBC-R, 2023.
9. "ZIP SYSTEMS" WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER ON EXTERIOR FRAME WALLS.
10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

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Park
Square
HOMES

EXTERIOR ELEVATION
FRONT AND REAR

1771 DAYTONA

FLORIDA SERIES

REVISIONS

DELTA #	DATE
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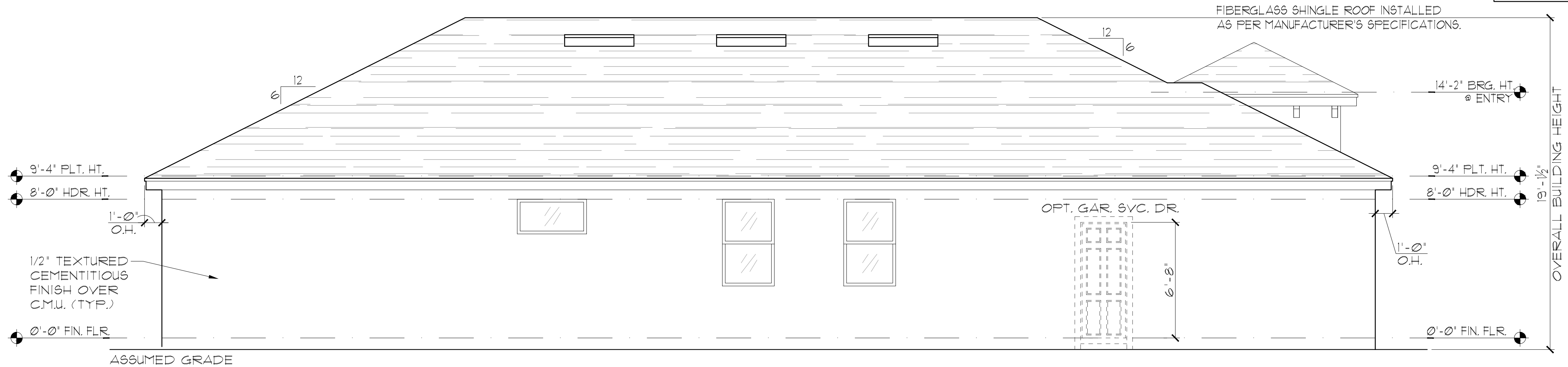
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SCALE: AS NOTED

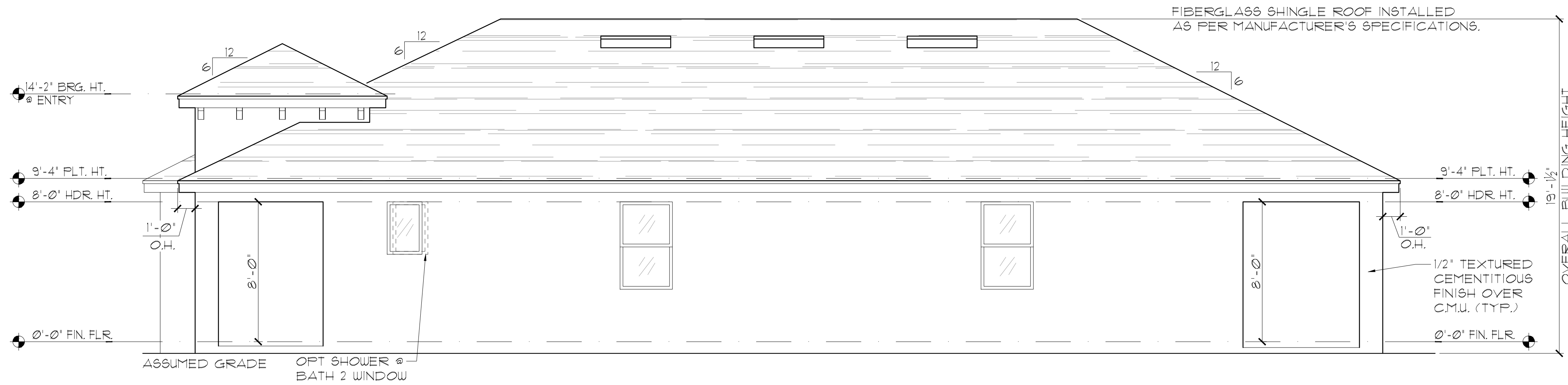
DRAWN: MR

SHEET:

03.A



ELEVATION A STD
LEFT ELEVATION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



ELEVATION A STD
RIGHT ELEVATION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C1063 OR C1181.
2. PLASTERING TO BE INSTALLED IAW R103.1 & R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C926.
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.2 & R103.1.3 OF THE 8TH EDITION, FBC-R, 2023.
5. FLASHING TO BE INSTALLED IAW R103.4 OF THE 8TH EDITION, FBC-R, 2023.
6. WIND RESISTANCE OF WALL COVERINGS & BACK MATERIALS SHALL BE IAW R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.
8. ALL FIBER CEMENT SIDING SHALL BE IAW R103.1 OF THE 8TH EDITION, FBC-R, 2023.
9. "ZIP SYSTEMS" WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR FRAME WALLS.
10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

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FLORIDA SERIES		DELTA #	DATE
		DATE:	06-05-25
		SCALE:	AS NOTED
		DRAWN:	MR
		SHEET:	03.1A

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5200 Vineyard Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000

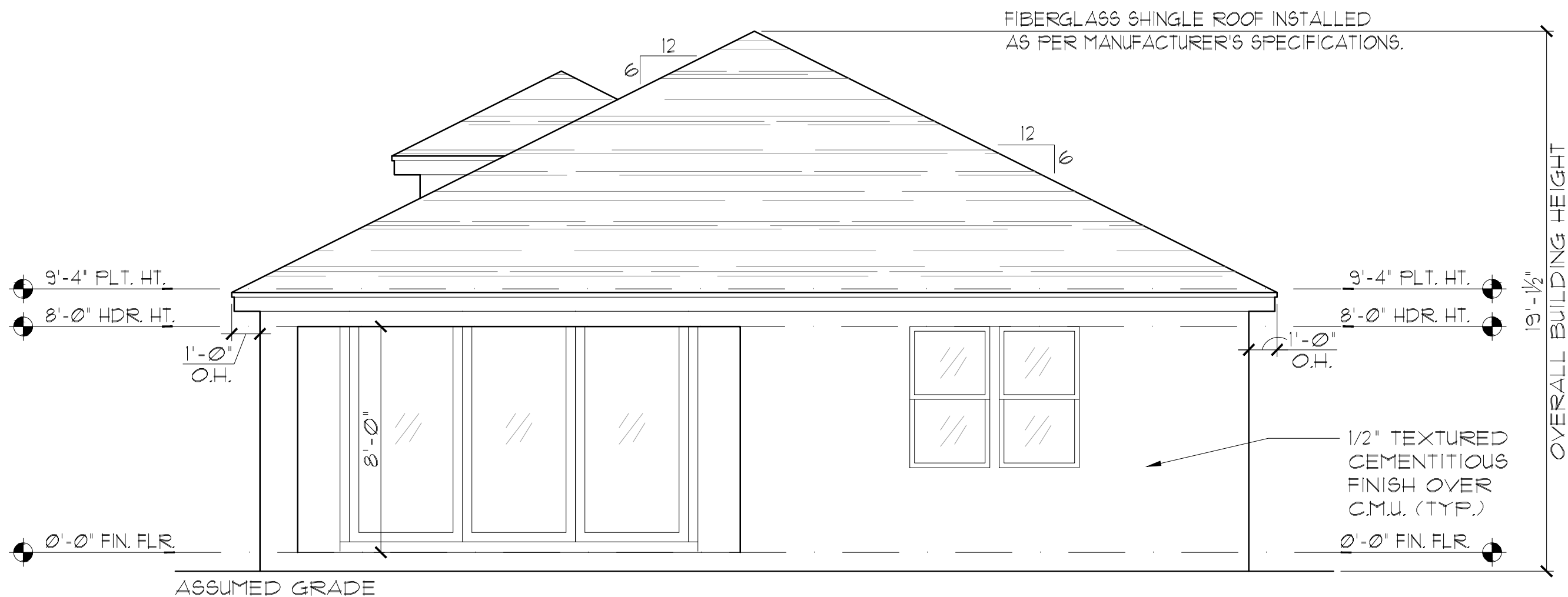
Park Square
HOMES

EXTERIOR ELEVATION
LEFT AND RIGHT



ELEVATION B STD
FRONT ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

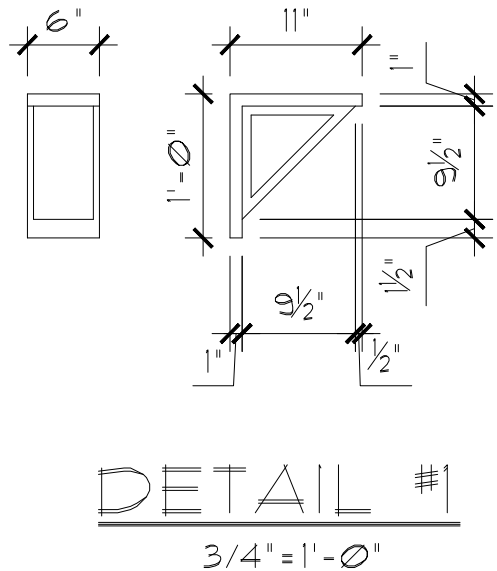


ELEVATION B STD
REAR ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C1063 OR C1181.
2. PLASTERING TO BE INSTALLED IAW R103.1 & R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C926.
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.2 & R103.1.3 OF THE 8TH EDITION, FBC-R, 2023.
5. FLASHING TO BE INSTALLED IAW R103.4 OF THE 8TH EDITION, FBC-R, 2023.
6. WIND RESISTANCE OF WALL COVERINGS & BACK MATERIALS SHALL BE IAW R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.
8. ALL FIBER CEMENT SIDING SHALL BE IAW R103.1 OF THE 8TH EDITION, FBC-R, 2023.
9. "ZIP SYSTEMS" WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER ON EXTERIOR FRAME WALLS.
10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.



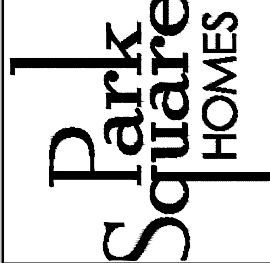
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EXTERIOR ELEVATION
FRONT AND REAR

1771 DAYTONA

FLORIDA SERIES

REVISIONS

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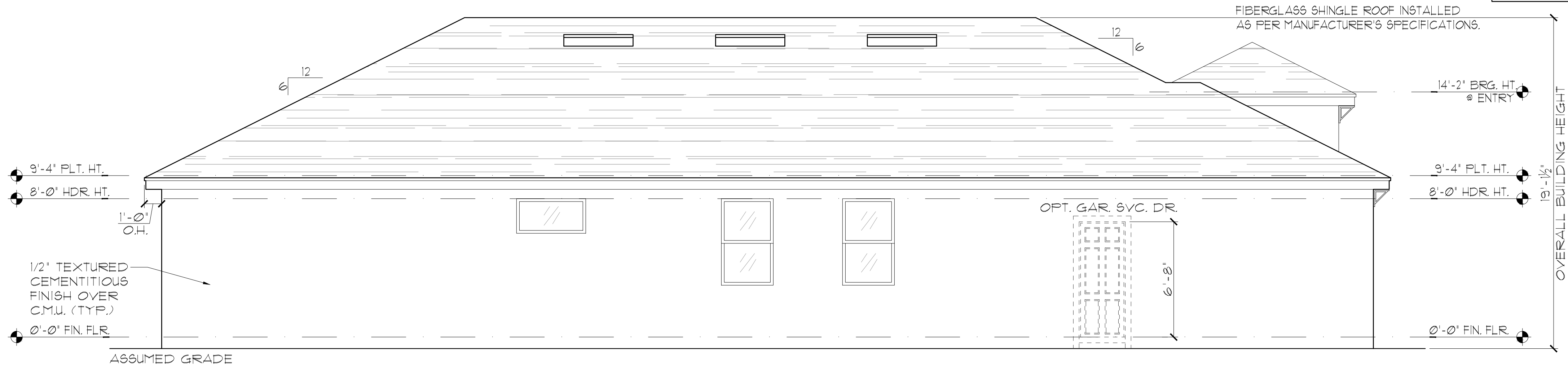
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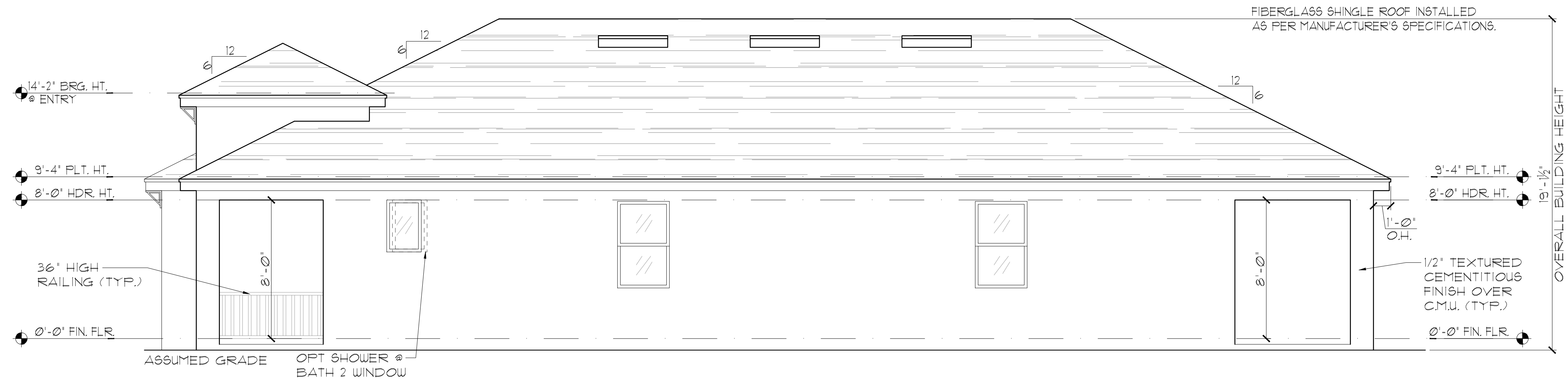
DRAWN: MR

SHEET:

03.B



ELEVATION B STD
LEFT ELEVATION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



ELEVATION B STD
RIGHT ELEVATION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EXTERIOR FINISH NOTES

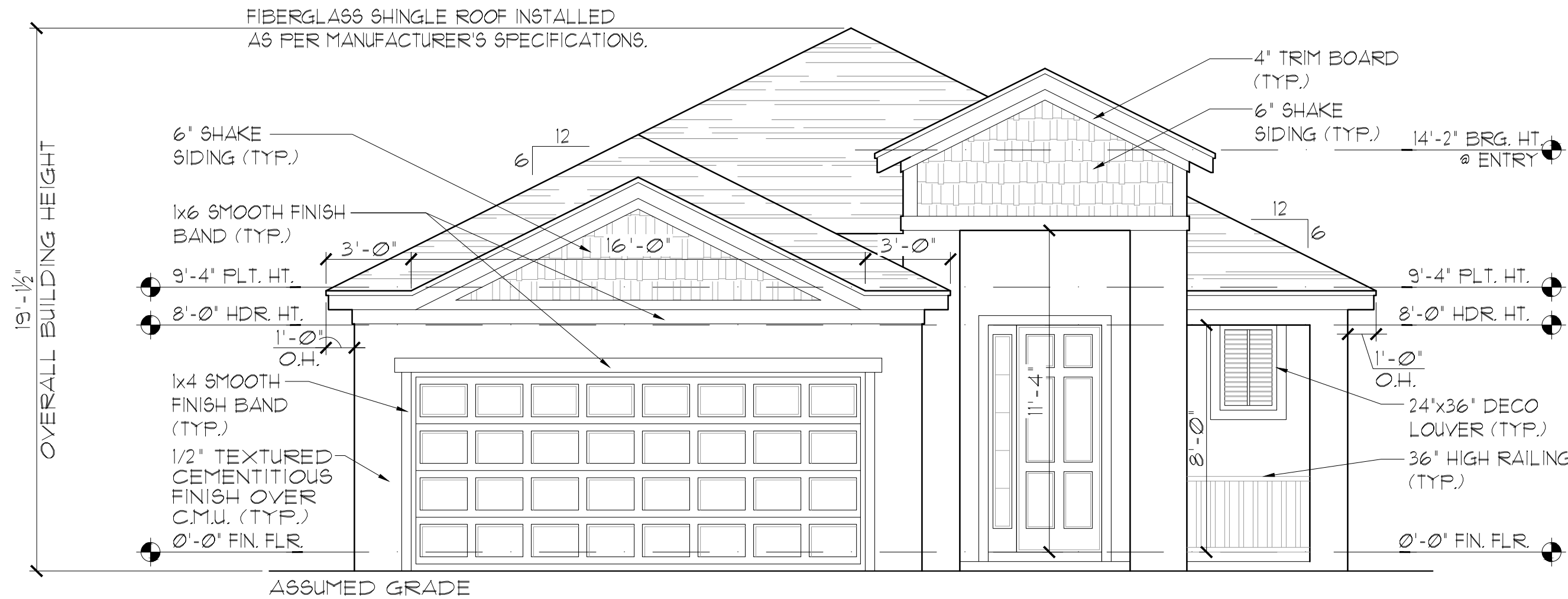
1. LATH TO BE ATTACHED IAW R103.11 OF THE 8TH EDITION, FBC-R 2023 & ASTM C1063 OR C1181.
2. PLASTERING TO BE INSTALLED IAW R103.1 & R103.12 OF THE 8TH EDITION, FBC-R 2023
3. WEEP SCREED TO BE INSTALLED IAW R103.12.1 OF THE 8TH EDITION, FBC-R 2023 & ASTM C926.
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.2 & R103.13 OF THE 8TH EDITION, FBC-R 2023.
5. FLASHING TO BE INSTALLED IAW R103.4 OF THE 8TH EDITION, FBC-R 2023.
6. WIND RESISTANCE OF WALL COVERINGS & BACK MATERIALS SHALL BE IAW R103.12 OF THE 8TH EDITION, FBC-R 2023
7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.
8. ALL FIBER CEMENT SIDING SHALL BE IAW R103.1 OF THE 8TH EDITION, FBC-R 2023.
9. "ZIP SYSTEMS" WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR FRAME WALLS.
10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

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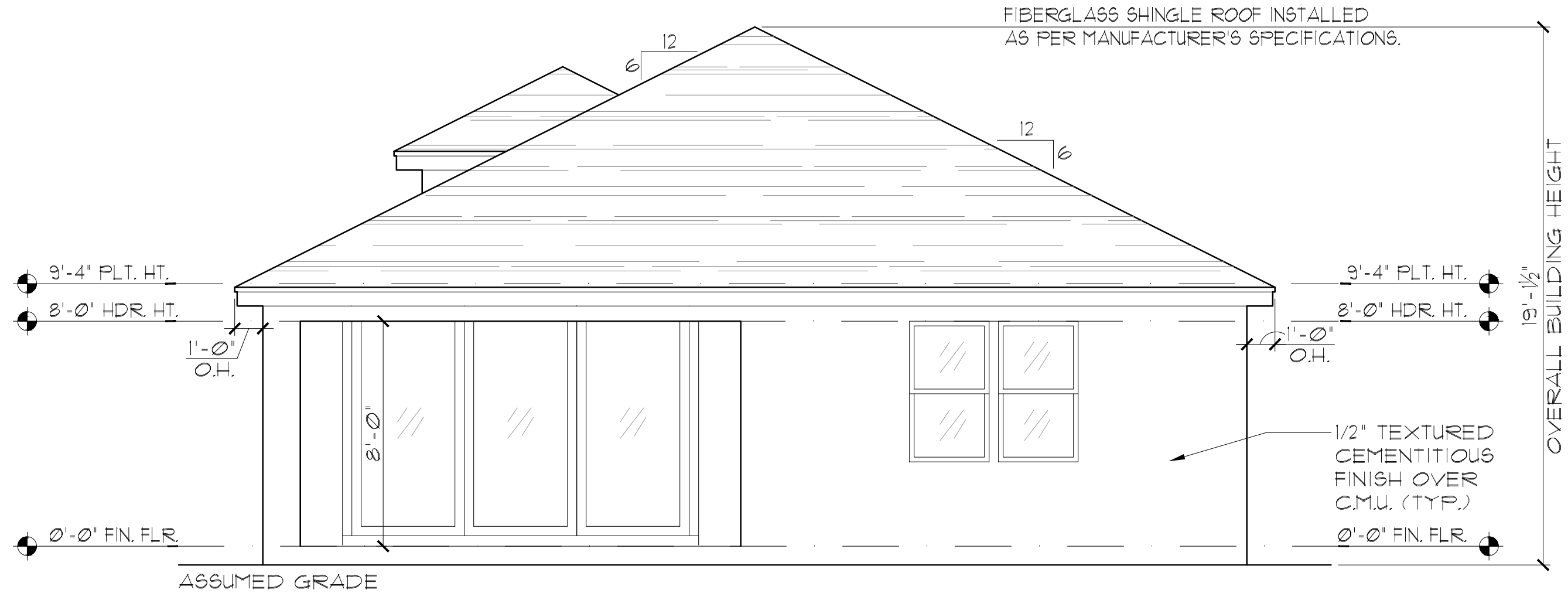
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EXTERIOR ELEVATION LEFT AND RIGHT		1771 DAYTONA	
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DELTA #		DATE	
DATE: 06-05-25		SCALE: AS NOTED	
DRAWN: MR		SHEET:	
03.1B			

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ELEVATION C STD
FRONT ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



ELEVATION C STD
REAR ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

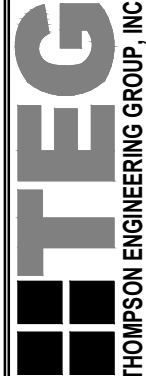
EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C1063 OR C1181.
2. PLASTERING TO BE INSTALLED IAW R103.1 & R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C926.
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.2 & R103.1.3 OF THE 8TH EDITION, FBC-R, 2023.
5. FLASHING TO BE INSTALLED IAW R103.4 OF THE 8TH EDITION, FBC-R, 2023.
6. WIND RESISTANCE OF WALL COVERINGS & BACK MATERIALS SHALL BE IAW R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.
8. ALL FIBER CEMENT SIDING SHALL BE IAW R103.1 OF THE 8TH EDITION, FBC-R, 2023.
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10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

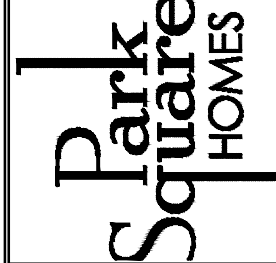
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EXTERIOR ELEVATION
FRONT AND REAR

1771 DAYTONA

FLORIDA SERIES

REVISIONS

DELTA #	DATE
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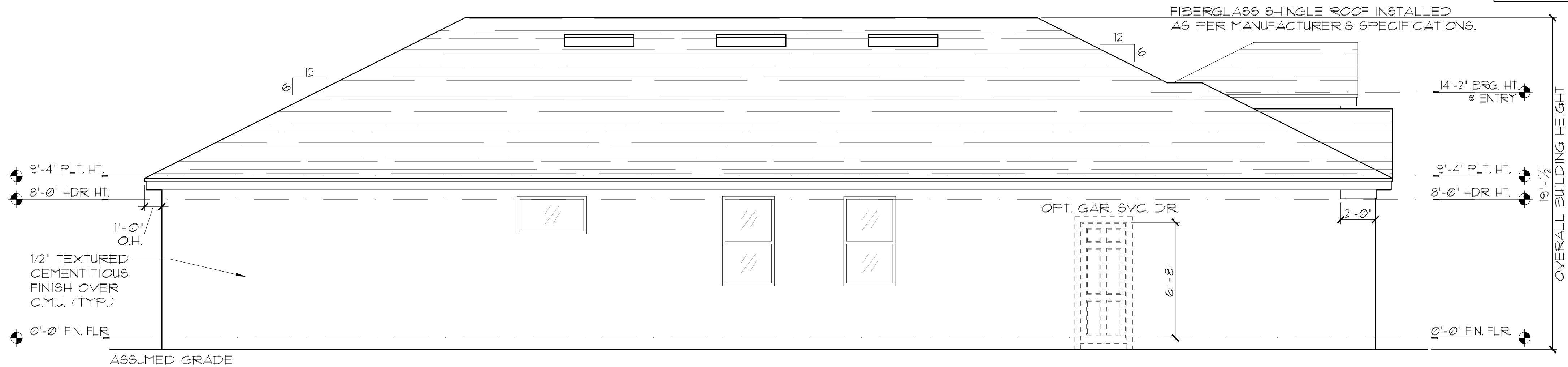
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SCALE:	AS NOTED
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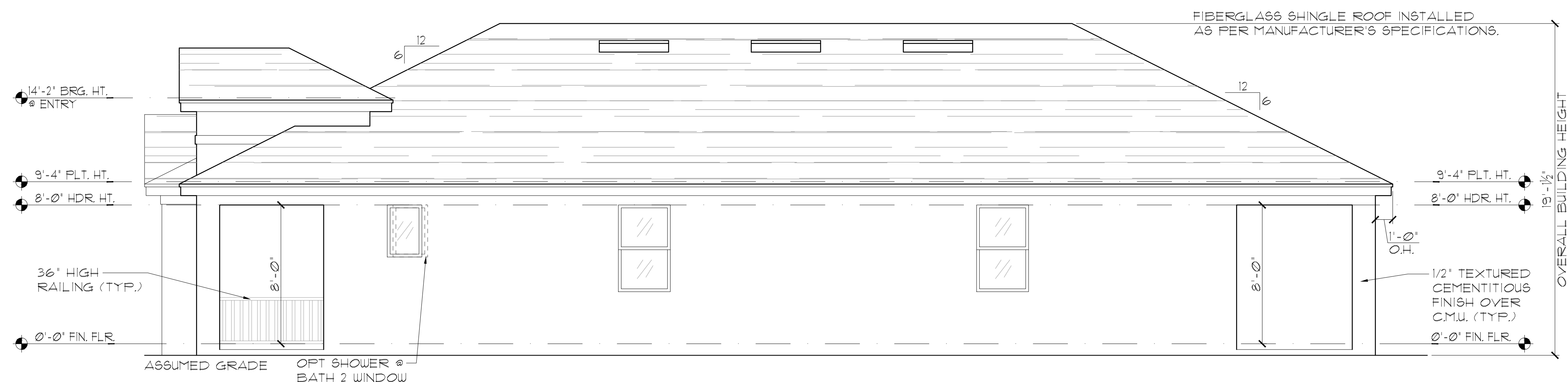
DRAWN:	MR
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SHEET:

03.C



ELEVATION C STD
LEFT ELEVATION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



ELEVATION C STD
RIGHT ELEVATION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

- EXTERIOR FINISH NOTES
1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 8TH EDITION, FBC-R 2023 & ASTM C1063 OR C1181.
 2. PLASTERING TO BE INSTALLED IAW R103.1 & R103.1.2 OF THE 8TH EDITION, FBC-R 2023
 3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 8TH EDITION, FBC-R 2023 & ASTM C926.
 4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.2 & R103.1.3 OF THE 8TH EDITION, FBC-R 2023.
 5. FLASHING TO BE INSTALLED IAW R103.4 OF THE 8TH EDITION, FBC-R 2023.
 6. WIND RESISTANCE OF WALL COVERINGS & BACK MATERIALS SHALL BE IAW R103.1.2 OF THE 8TH EDITION, FBC-R 2023
 7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.
 8. ALL FIBER CEMENT SIDING SHALL BE IAW R103.1 OF THE 8TH EDITION, FBC-R 2023.
 9. "ZIP SYSTEMS" WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR FRAME WALLS.
 10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

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DATE: 06-05-25

SCALE: AS NOTED

DRAWN: TMR

SHEET: 03.1C

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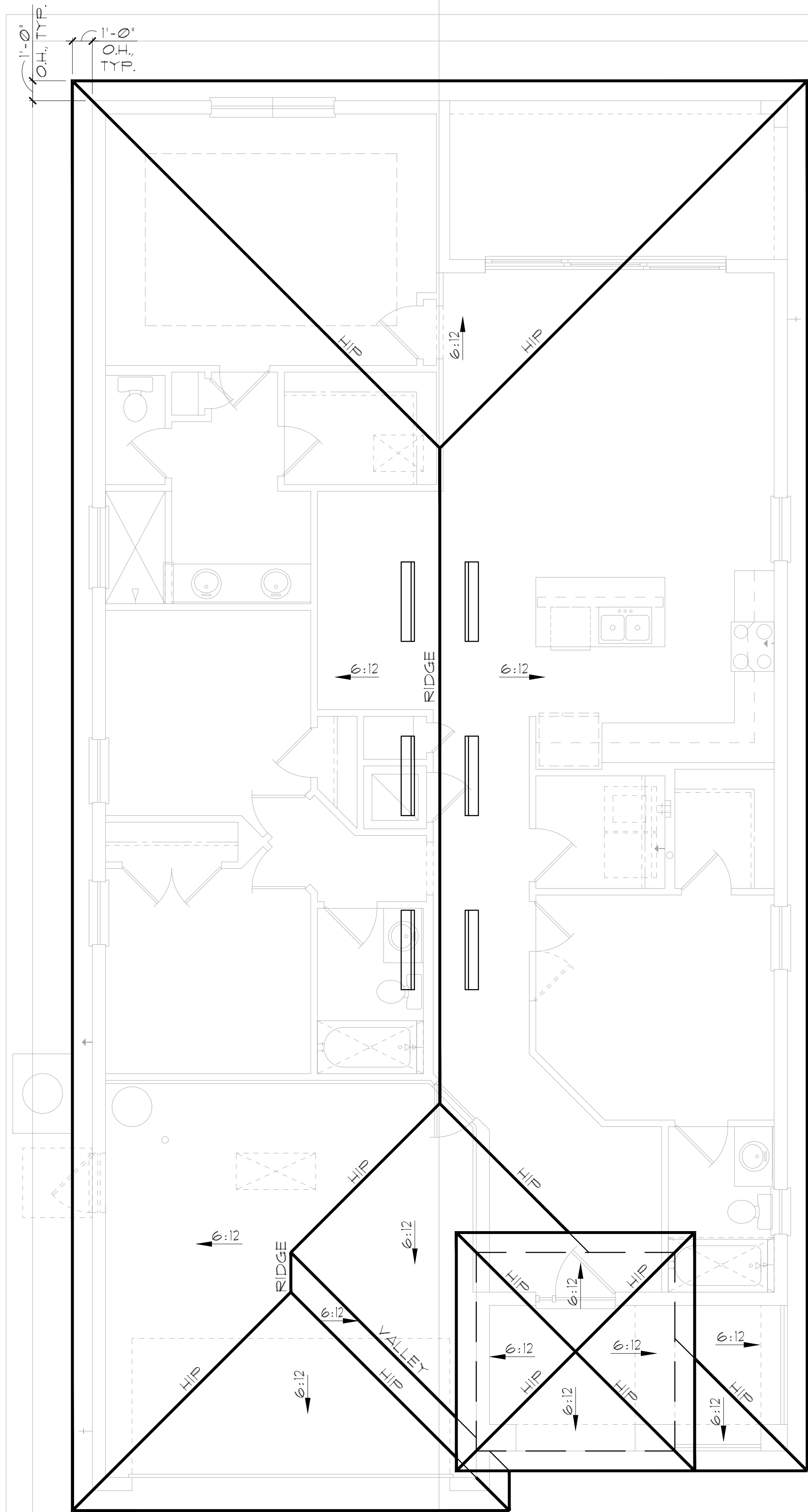
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EXTERIOR ELEVATION

LEFT AND RIGHT

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GENERAL NOTES

ENCLOSED ATTIC SPACES AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE VENTED SPACE, (EXCEPT THAT THE REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED, PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.)

1. PLAN SHOWS APPROXIMATE VENT LOCATIONS AND STILL REQUIRES REVIEW BY THE BUILDER/G.C. TO VERIFY ALL VENTING COMPONENTS ARE INSTALLED PER THE MIN. REQUIREMENTS AS STATED IN THE CURRENT EDITION OF THE FBC(R) SECTION R206 AND ALL SUBSEQUENT SUB-SECTIONS.
2. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, PROVIDE Baffles TO MAINTAIN A MIN. 1" AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
3. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSIONS OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION GREATER THAN 1/4" SHALL BE PROVIDED WITH AN APPROVED CORROSION PROTECTIVE COVER HAVING A LEAST DIMENSIONS OF 1/16" AND 1/4" MAXIMUM.
4. ALL VENTS SHALL BE INSTALLED PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS (FREE FROM BLOCKAGES AND/OR OBSTRUCTIONS) PROVIDING ADEQUATE CROSS VENTILATION.
5. THE BUILDER/ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CALCULATIONS AND QUANTITIES OF REQUIRED VENTILATORS PRIOR TO INSTALLATION.
6. ROOF PLAN DEPICTED IS NOT INTENDED TO SERVE AS A TRUSS DESIGN
7. SEE BUILDING SECTIONS, WALL SECTIONS & ELEVATIONS FOR BEARING HEIGHTS

CALCULATIONS BELOW ARE BASED OFF OF THE FOLLOWING ASSUMPTIONS:

OFF RIDGE VENTS TO HAVE A NET FREE VENTILATION AREA OF:

TILE: O'HAGIN- MODEL-'S'- 91.5 SQ. INCHES PER VENT INSTALLED
SHINGLE: MILLENNIUM METAL®-MM1-2 = 80.5 SQ. INCHES PER VENT INSTALLED
LOMANCO-TT0D = 140 SQ. INCHES PER VENT INSTALLED

INDICATES POSSIBLE LOCATION OF OFF RIDGE VENTS

SOFFIT VENTILATION TO HAVE A NET FREE VENTILATION AREA OF 10 SQ. INCHES PER LINEAR FOOT

INDICATES POSSIBLE LOCATION OF SOFFIT VENTING

ATTIC VENTILATION CALCULATIONS

NET FREE VENTILATED AREA(S):
(O'HAGIN- MODEL 'S')
NFVA = 2,420 SQ. FT * 144 / 300 = 465-581 SQ. IN. REQUIRED (40%-50%)
(5) OFF RIDGE VENTS @ 91.5 SQ. IN. (O'HAGIN- MODEL 'S') = 488 SQ. IN. PROVIDED
(MILLENNIUM METAL®- MM1-2)
NFVA = 2,420 SQ. FT * 144 / 300 = 465-581 SQ. IN. REQUIRED (40%-50%)
(6) OFF RIDGE VENTS @ 80.5 SQ. IN. (MILLENNIUM METAL®- MM1-2) = 483 SQ. IN. PROVIDED
(LOMANCO-TT0D)
NFVA = 2,420 SQ. FT * 144 / 300 = 465-581 SQ. IN. REQUIRED (40%-50%)
(4) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-TT0D) = 560 SQ. IN. PROVIDED
+/- 200 LINEAR FEET OF VENTED SOFFIT.

ELEVATION A & B STD
ROOF PLAN

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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DATE: 06-05-25

SCALE: AS NOTED

DRAWN: MR

SHEET: 04.0

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PH: (407) 734-1500

FW: (407) 734-1500

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5200 Vineyard Road, Suite 200

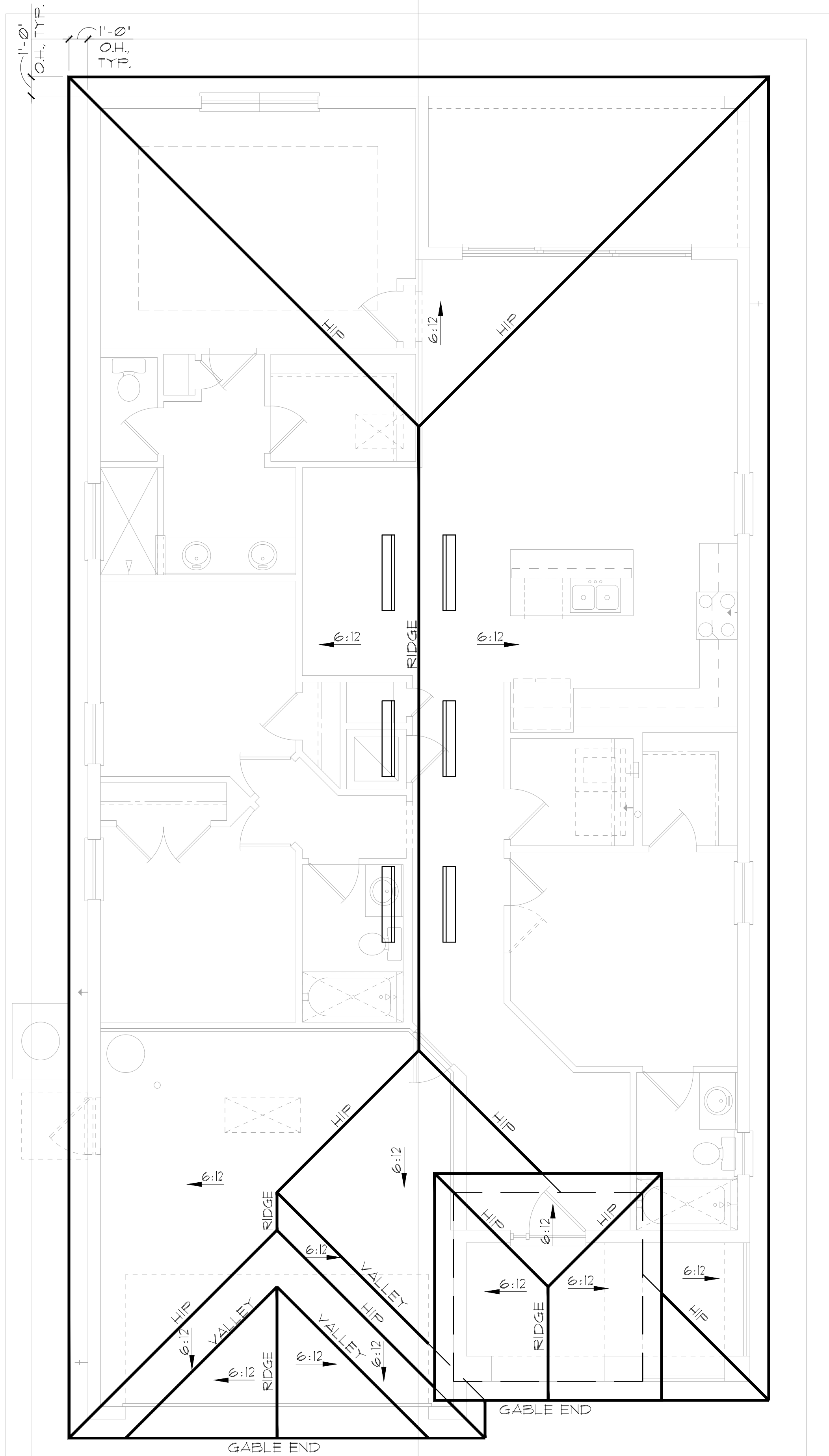
Orlando, Florida 32811

Phone: (407) 529 - 3000

Park Square HOMES

ROOF PLAN

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GENERAL NOTES

ENCLOSED ATTIC SPACES AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE VENTED SPACE, (EXCEPT THAT THE REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED, PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.)

1. PLAN SHOWS APPROXIMATE VENT LOCATIONS AND STILL REQUIRES REVIEW BY THE BUILDER/G.C. TO VERIFY ALL VENTING COMPONENTS ARE INSTALLED PER THE MIN. REQUIREMENTS AS STATED IN THE CURRENT EDITION OF THE FBC(R) SECTION R206 AND ALL SUBSEQUENT SUB-SECTIONS.
2. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, PROVIDE BAFFLES TO MAINTAIN A MIN. 1" AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
3. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSIONS OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION GREATER THAN 1/4" SHALL BE PROVIDED WITH AN APPROVED CORROSION PROTECTIVE COVER HAVING A LEAST DIMENSIONS OF 1/16" AND 1/4" MAXIMUM.
4. ALL VENTS SHALL BE INSTALLED PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS (FREE FROM BLOCKAGES AND/OR OBSTRUCTIONS) PROVIDING ADEQUATE CROSS VENTILATION.
5. THE BUILDER/ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CALCULATIONS AND QUANTITIES OF REQUIRED VENTILATORS PRIOR TO INSTALLATION.
6. ROOF PLAN DEPICTED IS NOT INTENDED TO SERVE AS A TRUSS DESIGN
7. SEE BUILDING SECTIONS, WALL SECTIONS & ELEVATIONS FOR BEARING HEIGHTS

CALCULATIONS BELOW ARE BASED OFF OF THE FOLLOWING ASSUMPTIONS:

OFF RIDGE VENTS TO HAVE A NET FREE VENTILATION AREA OF:

TILE: O'HAGIN- MODEL-'S'- 91.5 SQ. INCHES PER VENT INSTALLED
SHINGLE: MILLENNIUM METAL®-MM1-2 = 80.5 SQ. INCHES PER VENT INSTALLED
LOMANCO-TT0D = 140 SQ. INCHES PER VENT INSTALLED

[Symbol] INDICATES POSSIBLE LOCATION OF OFF RIDGE VENTS

SOFFIT VENTILATION TO HAVE A NET FREE VENTILATION AREA OF 10 SQ. INCHES PER LINEAR FOOT

[Symbol] INDICATES POSSIBLE LOCATION OF SOFFIT VENTING

ATTIC VENTILATION CALCULATIONS

NET FREE VENTILATED AREA(S):
(O'HAGIN- MODEL 'S')
NFVA = 2,420 SQ. FT * 144 / 300 = 465-581 SQ. IN. REQUIRED (40%-50%)

(5) OFF RIDGE VENTS @ 91.5 SQ. IN. (O'HAGIN- MODEL 'S') = 488 SQ. IN. PROVIDED

(MILLENNIUM METAL®- MM1-2)
NFVA = 2,420 SQ. FT * 144 / 300 = 465-581 SQ. IN. REQUIRED (40%-50%)

(6) OFF RIDGE VENTS @ 80.5 SQ. IN. (MILLENNIUM METAL®- MM1-2) = 483 SQ. IN. PROVIDED

(LOMANCO-TT0D)
NFVA = 2,420 SQ. FT * 144 / 300 = 465-581 SQ. IN. REQUIRED (40%-50%)

(4) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-TT0D) = 560 SQ. IN. PROVIDED

+/- 200 LINEAR FEET OF VENTED SOFFIT.

ELEVATION C STD
ROOF PLAN
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 8th EDITION, 2003 OF THE FLORIDA BUILDING CODE-RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY

1771 DAYTONA

FLORIDA SERIES

REVISIONS

DELTA #	DATE

DATE: 06-05-25

SCALE: AS NOTED

DRAWN: MR

SHEET: 04.0

TEG

THOMPSON ENGINEERING GROUP, INC.

1441 Vineyard Road Suite A6 Orlando, FL 32811

PH: (407) 734-1500

FAX: (407) 734-1500

www.teg.com

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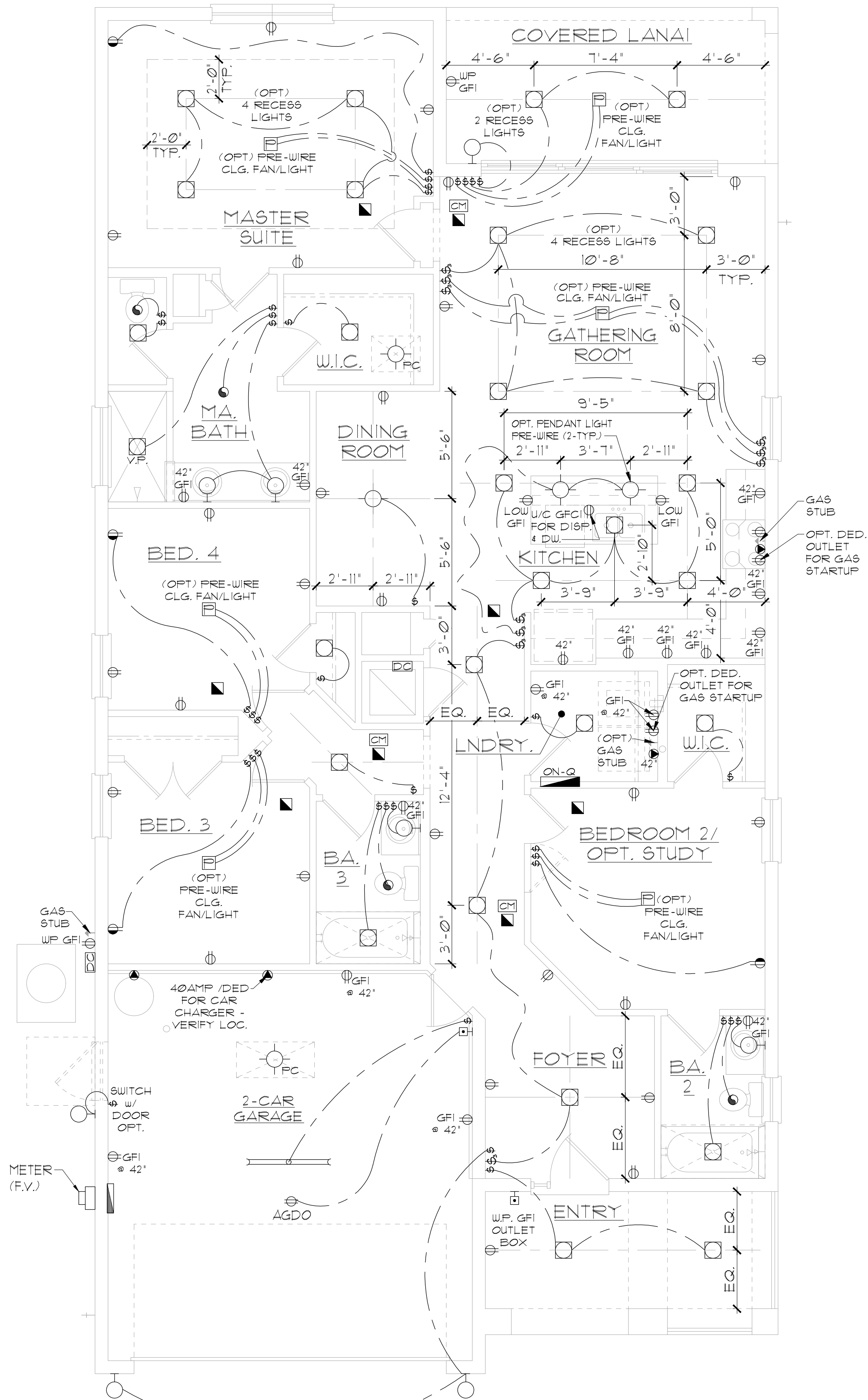
5200 Vineyard Road, Suite 200

Orlando, Florida 32811

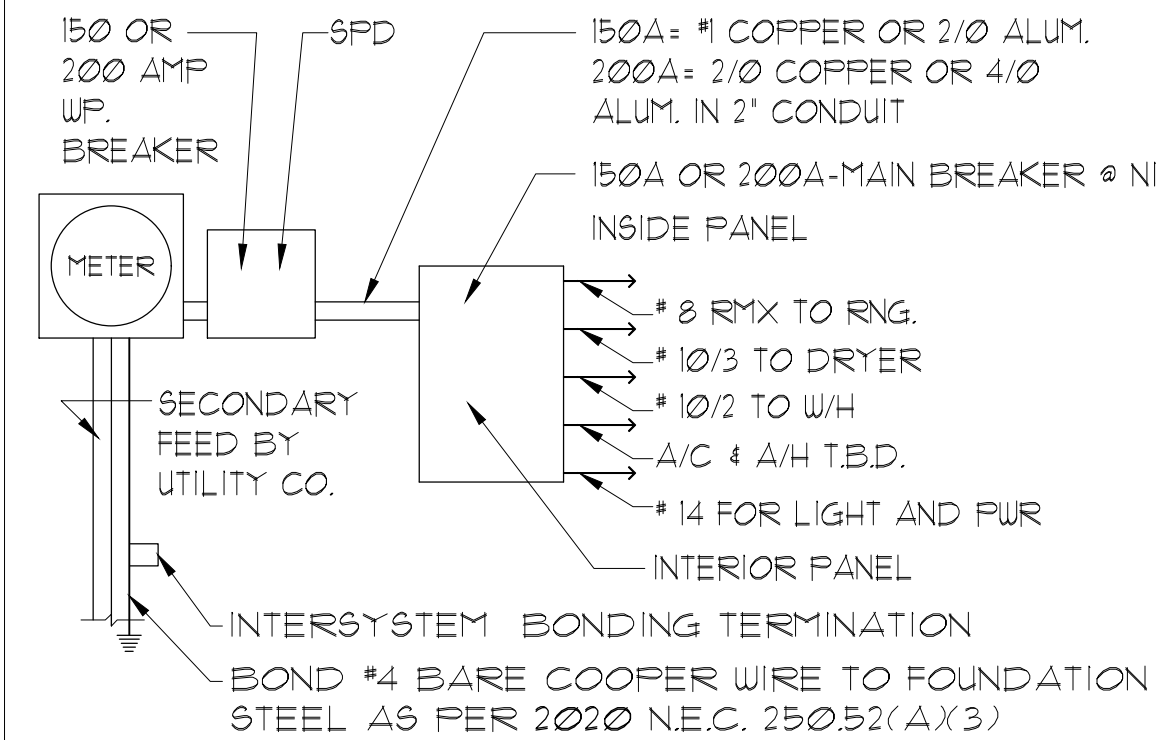
Phone: (407) 529 - 3000

ROOF PLAN

DISCLAIMER: CONTRACTOR/SUB-CONTRACTOR IS RESPONSIBLE TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO COMMENCEMENT OF CONSTRUCTION. PARK SQUARE HOMES IS NOT RESPONSIBLE FOR ANY MISINTERPRETATIONS, ERRORS, OMISSIONS OR CUSTOM CHANGES MISSED AND NOT REPORTED PRIOR TO CONSTRUCTION. NO EXCEPTIONS.



NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS
NOTE: ELEC. CONTRACTOR TO VERIFY IF ON-Q IS NEEDED PER COMMUNITY SPECS.



ELECTRICAL RISER DIAGRAM
N.T.S.

- NOTES:
1. ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), NFPA 70, LOCAL CODES, AND THE LOCAL POWER/ UTILITY COMPANY.
2. ALL SERVICES SUPPLYING DUELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTION DEVICE (SPD) THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD.
3. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

250.52(A)(3) Concrete-Encased Electrode. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long. There are two types of concrete-encased electrodes: (1) steel reinforcing bars or rods which are not less than 1/2 inch in diameter and at least 20 ft. long, encased in 2 inches of concrete; (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in 2 inches of concrete. The steel reinforcing rods must be in a location that is in direct contact with the earth. The reinforcing rods can be connected with tie wires, and a single length of rod can be used as the concrete-encased electrode. The reinforcing rods cannot be coated with non-conductive material. Section 250.50 requires a concrete-encased electrode to be connected to the grounding electrode system if it is present. Several states have modified this requirement to say a concrete-encased electrode must be used as a grounding electrode only if it is available. In those jurisdictions, if the footings or foundations have been poured before the electrical contractor arrives at the site, and a reinforcing rod is not available for use as a grounding electrode, then a grounding connection to the reinforcing rod is not required.

ELECTRICAL LEGEND

⌚	SINGLE POLE SWITCH	◀	OUTLET, PHONE
⌚	THREE WAY SWITCH	◻	INTERCOM
⊖	OUTLET 110-115	⊞	CHIMES
⊖	OUTLET 110-115, SPLIT WIRED	⊞	SMOKE DETECTOR/SMOKE ALARM W/ INTEGRATED SOUNDER BASE
⊖	OUTLET 110-115, W/ USB	⊞	CARBON MONOXIDE
⊖	OUTLET 110-115, CEILING MOUNTED	⊞	PUSH BUTTON
⊖	OUTLET 110-115, FLOOR MOUNTED	⊞	EXHAUST FAN
⊖	SPECIAL PURPOSE 220-240	⊞	EX. FAN/LIGHT COMBO
⊖	LIGHT FIXTURE, CEILING MOUNTED	⊞	DISPOSAL
⊖	LIGHT FIXTURE, WALL MOUNTED	⊞	ON-Q PANEL
⊖	LED LIGHT FIXTURE, RECESSED	⊞	ELECTRICAL PANEL
⊖	LIGHT FIXTURE, RECESSED ADJUST.	⊞	CEILING FAN, PREWIRE
⊖	LIGHT FIXTURE, PULL CHAIN	⊞	CEILING FAN, INSTALL
⊖	LED LIGHT FIXTURE, FLUORESCENT	⊞	ELEC. JUNCTION BOX
⊖	LIGHT FIXTURE, EXTERIOR FLOODS	⊞	THERMOSTAT
⊖	LIGHT FIXTURE, EMERGENCY EXIT	⊞	DISCONNECT SWITCH
⊖	LIGHT FIXTURE, EXIT/BACKUP	⊞	ELEC. POWER METER
⊖	OUTLET, TV/CABLE		

ELECTRICAL DEVICES ABOVE FIN. FLR.

SWITCHES AND WALL OUTLETS OVER COUNTERS	48" TO C.L.
REMAINING SWITCHES	48" TO C.L.
WALL OUTLETS	12" TO C.L.
TELEPHONE OUTLETS	12" TO C.L.
TELEVISION OUTLETS	12" TO C.L.
EXTERIOR GFI'S	48" TO C.L.
GARAGE GFI'S (ABOVE GARAGE FLOOR)	54" TO C.L.
THERMOSTAT	54" TO C.L.
DOOR BELL CHIMES	84" TO C.L.
DOOR BELL BUTTON	LEVEL W/ DOOR HANDLE
KITCHEN HOOD FAN "WHIP"	66" TO C.L.
KITCHEN WALL HUNG MICROWAVE RECEPTACLE	16" TO C.L.
KITCHEN DISHWASHER RECEPTACLE	UNDER SINK
KITCHEN RANGE	24" TO C.L.
KITCHEN REFRIGERATOR	48" TO C.L.
WASHER/DRYER OUTLET	36" TO C.L.
HOLLYWOOD LIGHTS	84" TO C.L.

C.L. = CENTER LINE

ELEVATION A,B,C
(STD SPECS.)
UTILITY PLAN

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

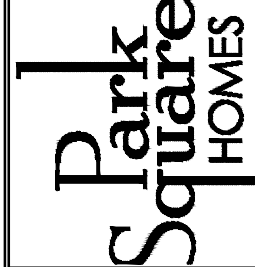
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LOT: 0000, COMMUNITY

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Phone: (407) 529 - 3000



UTILITY PLAN

1771 DAYTONA

FLORIDA SERIES

REVISIONS

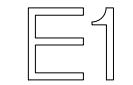
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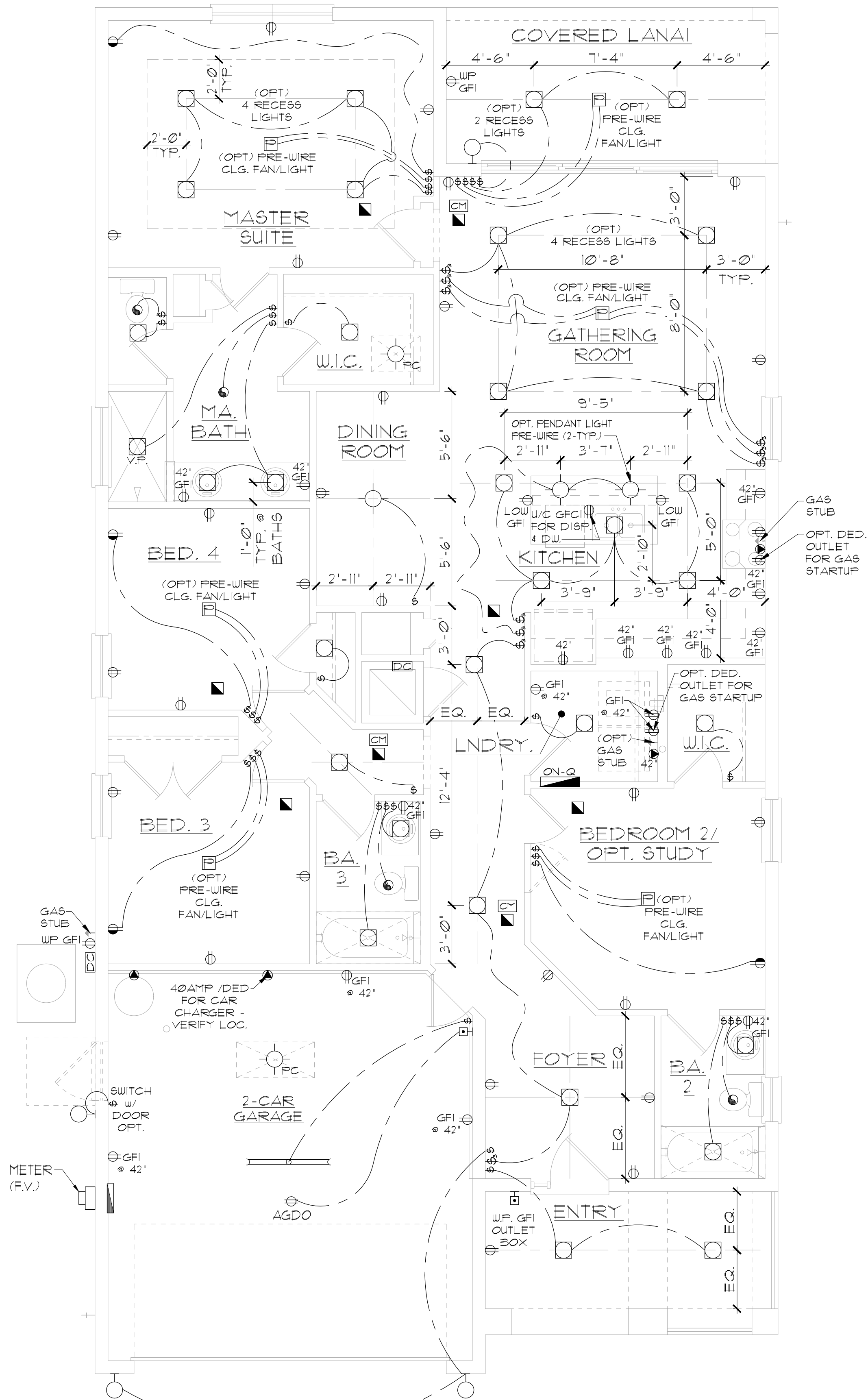
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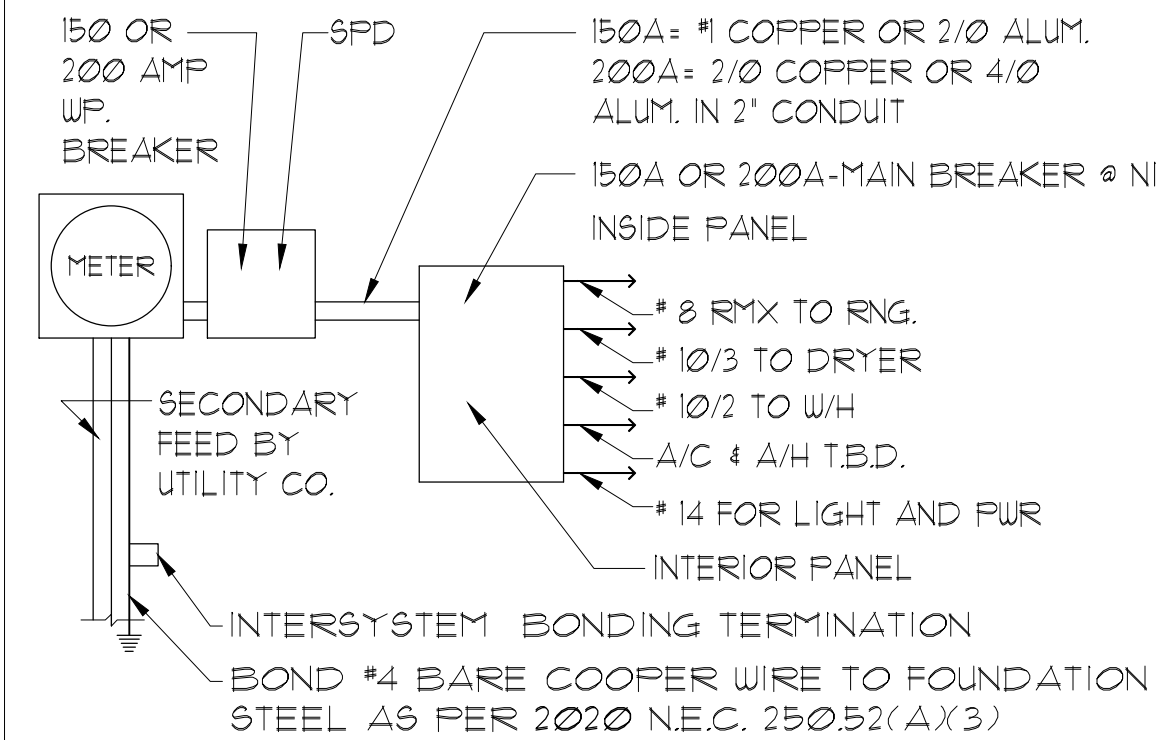
DRAWN: M/R

SHEET:





NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS
NOTE: ELEC. CONTRACTOR TO VERIFY IF ON-Q IS NEEDED PER COMMUNITY SPECS.



ELECTRICAL RISER DIAGRAM
N.T.S.

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1. ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), NFPA 70, LOCAL CODES, AND THE LOCAL POWER/ UTILITY COMPANY.
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⊖	OUTLET 110-115, FLOOR MOUNTED	⊞	EXHAUST FAN
⊖	SPECIAL PURPOSE 220-240	⊞	EX. FAN/LIGHT COMBO
⊖	LIGHT FIXTURE, CEILING MOUNTED	⊞	DISPOSAL
⊖	LIGHT FIXTURE, WALL MOUNTED	⊞	ON-Q PANEL
⊖	LED LIGHT FIXTURE, RECESSED	⊞	ELECTRICAL PANEL
⊖	LIGHT FIXTURE, RECESSED ADJUST.	⊞	CEILING FAN, PREWIRE
⊖	LIGHT FIXTURE, PULL CHAIN	⊞	CEILING FAN, INSTALL
⊖	LED LIGHT FIXTURE, FLUORESCENT	⊞	ELEC. JUNCTION BOX
⊖	LIGHT FIXTURE, EXTERIOR FLOODS	⊞	THERMOSTAT
⊖	LIGHT FIXTURE, EMERGENCY EXIT	⊞	DISCONNECT SWITCH
⊖	LIGHT FIXTURE, EXIT/BACKUP	⊞	ELEC. POWER METER
⊖	OUTLET, TV/CABLE		

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C.L. = CENTER LINE

ELEVATION A,B,C
(THRIVE SPECS.)
UTILITY PLAN

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

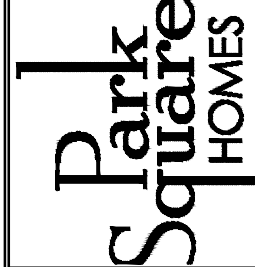
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UTILITY PLAN

1771 DAYTONA

FLORIDA SERIES

REVISIONS

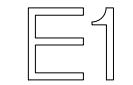
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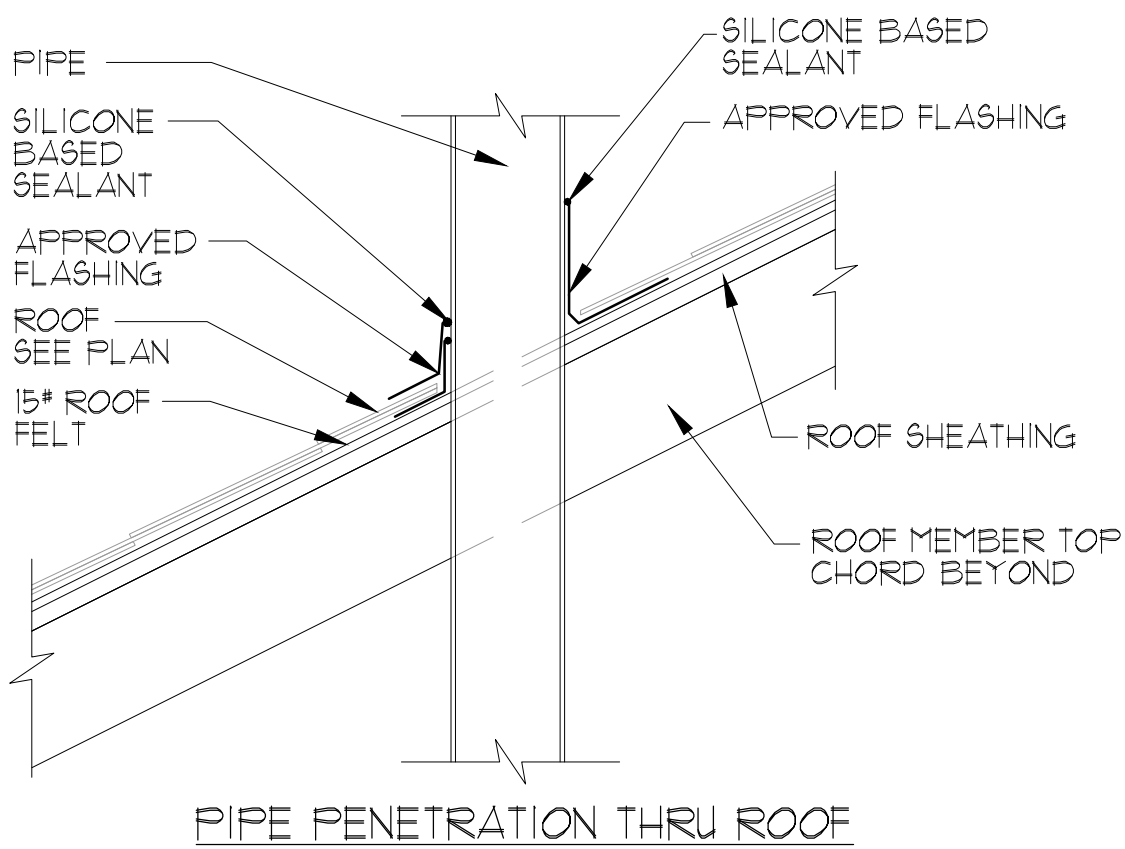
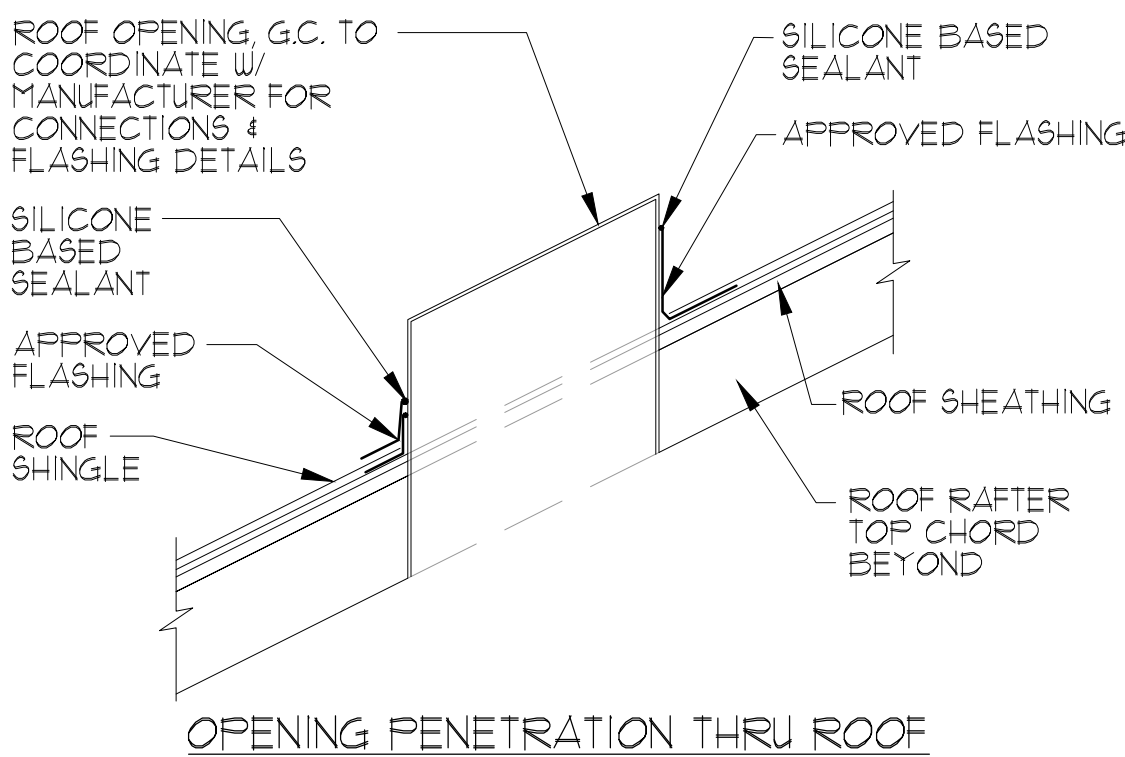
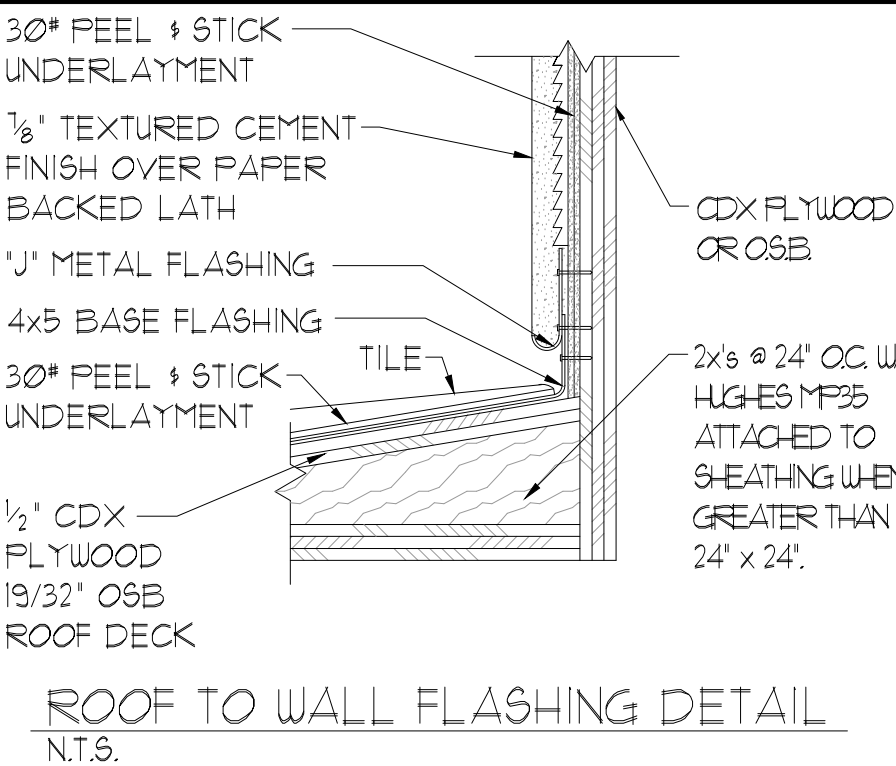
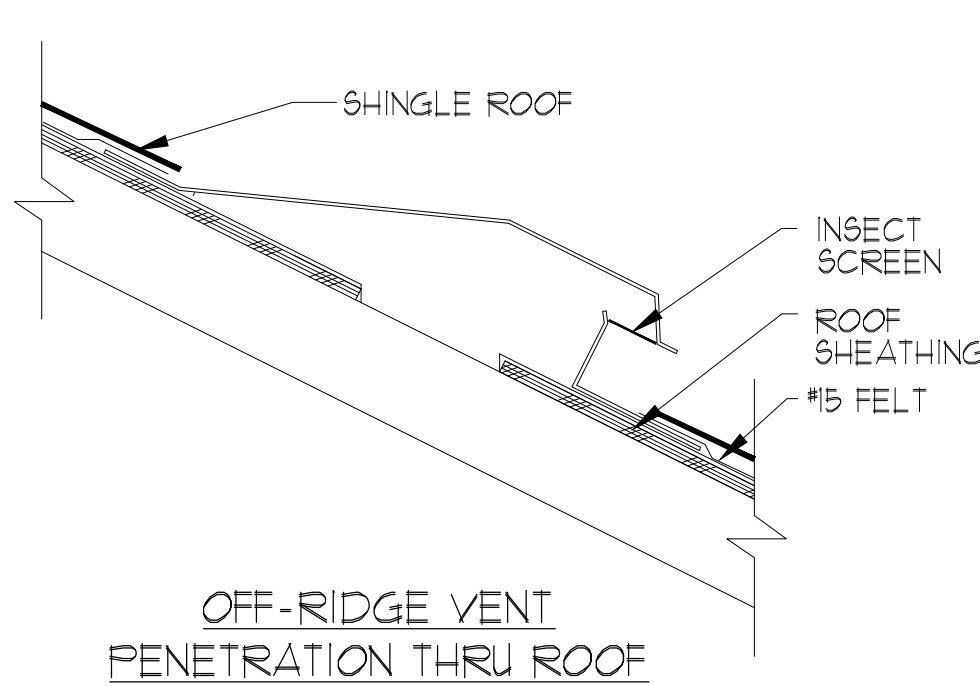
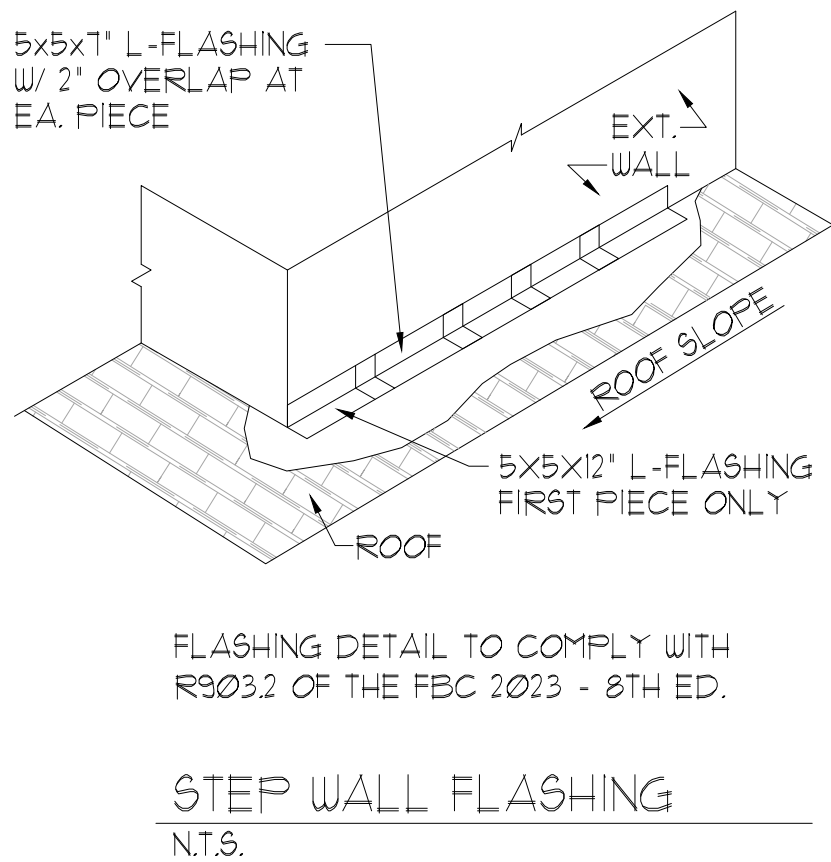
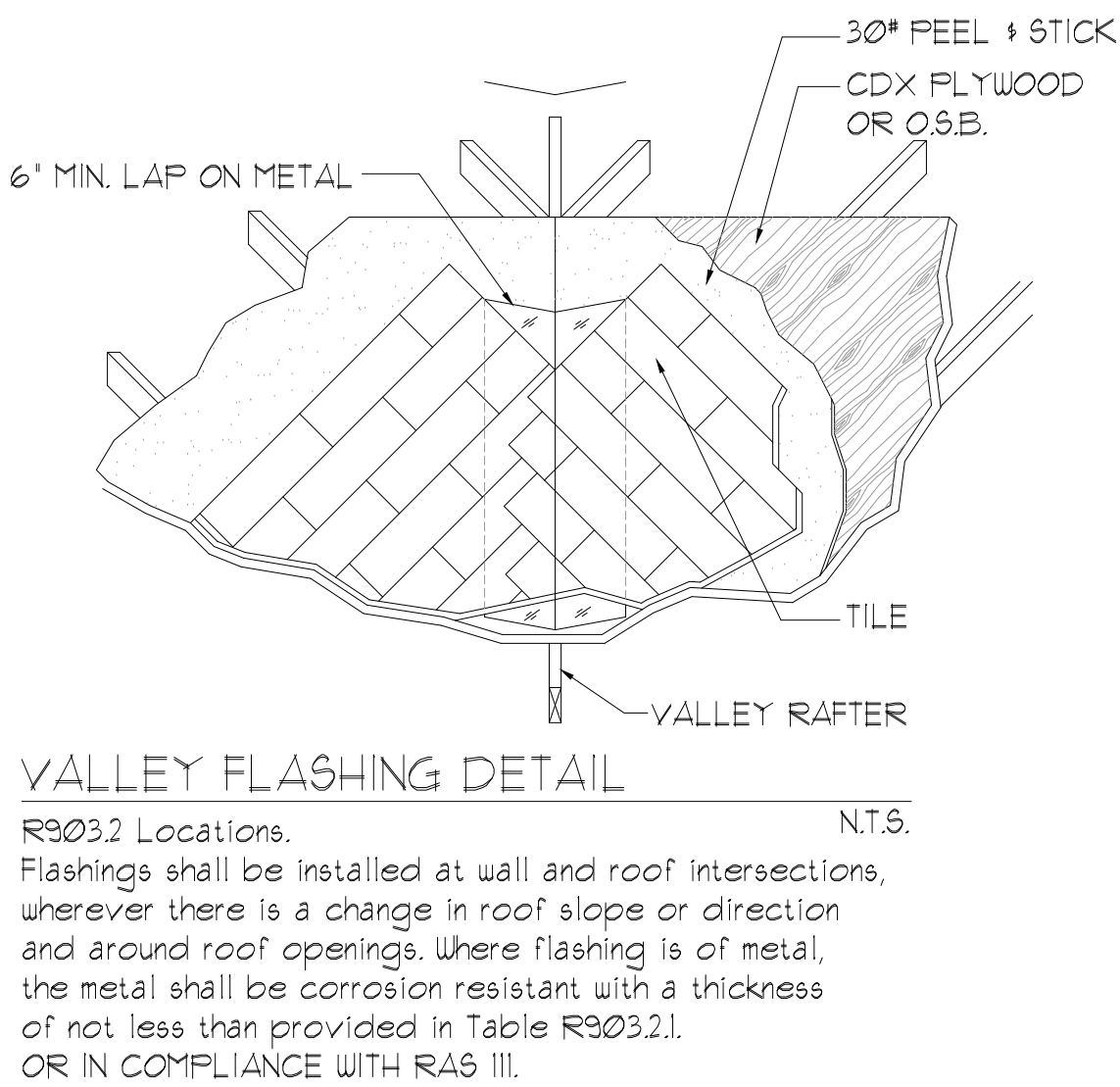
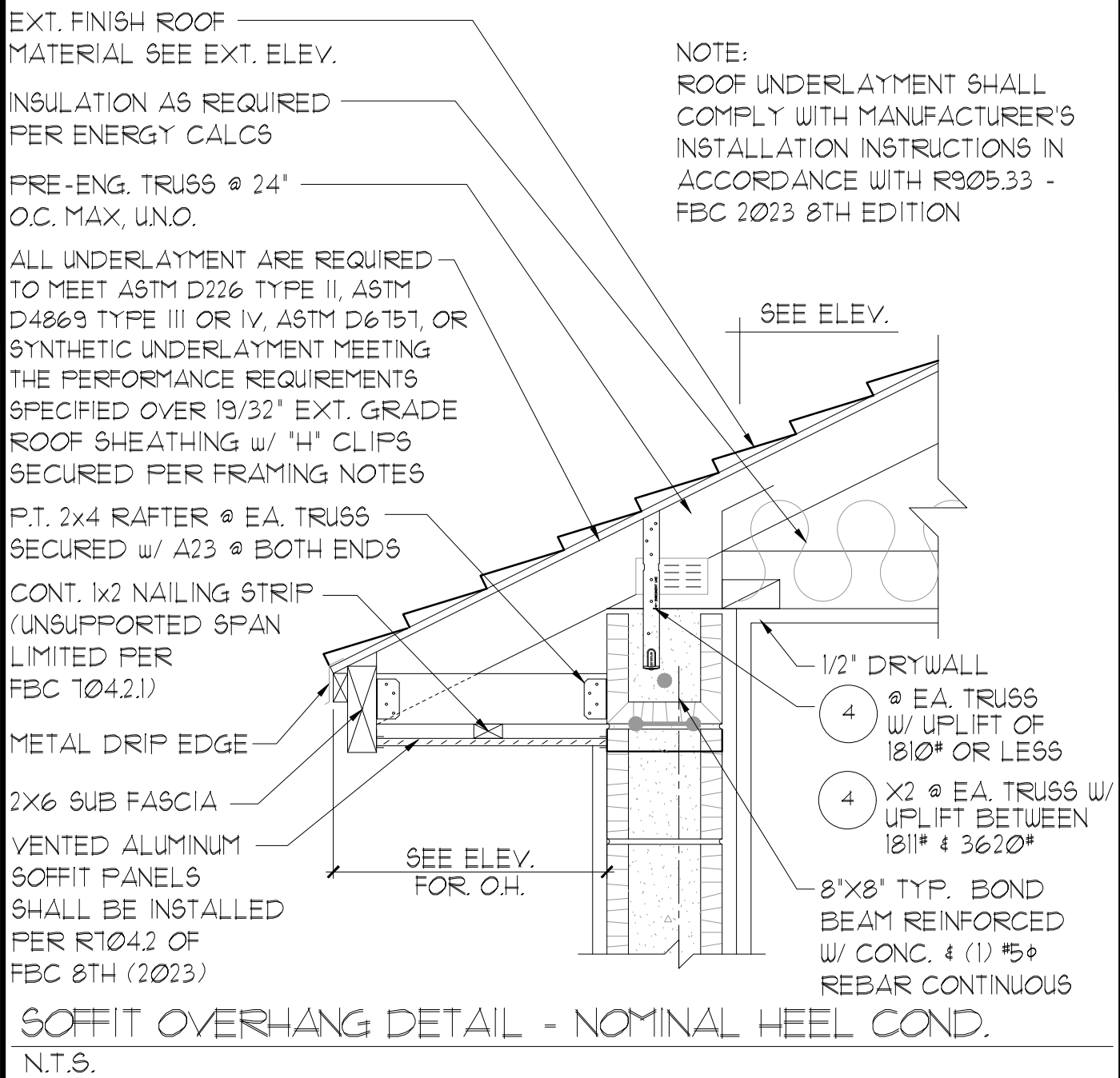
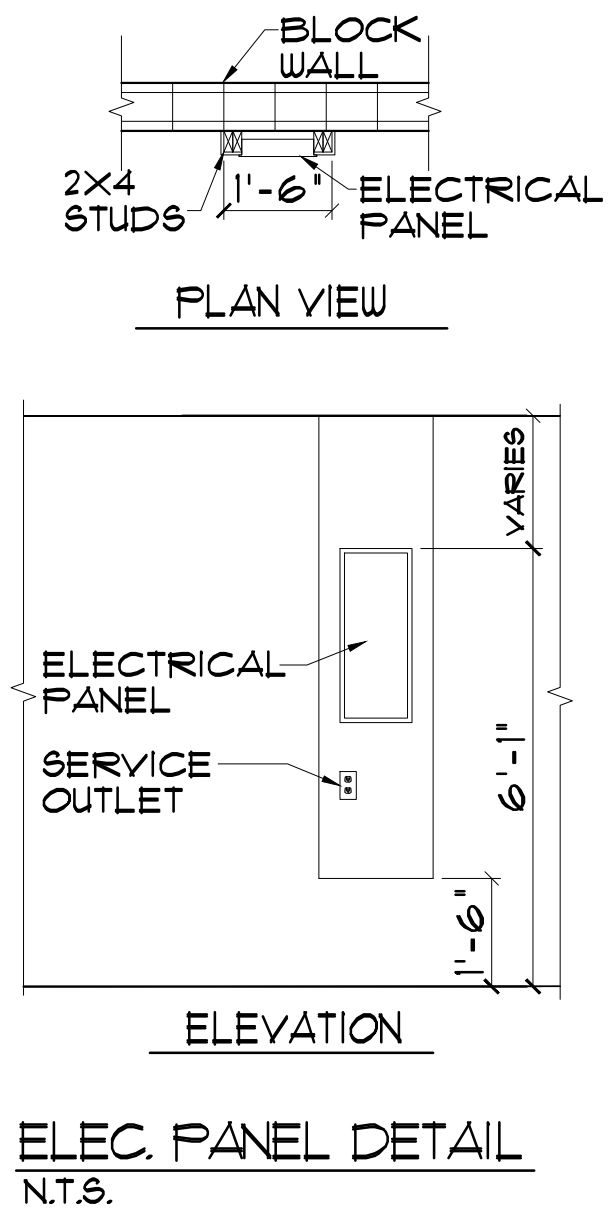
DATE: 06-05-25

SCALE: AS NOTED

DRAWN: M/R

SHEET:





ROOF PENETRATION DETAIL SCALE: N.T.S.

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LOT: 000, COMMUNITY

REVISIONS

DELTA #	DATE

DATE: XX-XX-24

SCALE: AS NOTED

DRAWN: MR

SHEET: AD1

ITEG

THOMPSON ENGINEERING GROUP, INC.

4401 Vineland Road, Suite 400, Orlando, FL 32811

Phone: (407) 734-1790

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5200 Vineland Road, Suite 200

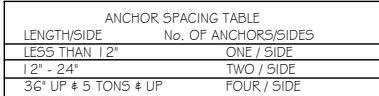
Orlando, Florida 32811

Phone: (407) 529 - 3000

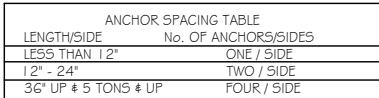
Park Square HOMES

DETAILS

DETAILS



		1771 DAYTONA		FLORIDA SERIES	
REVISIONS					
DATE:	06-05-	DELTA #		DATE	
SCALE: AS NOTED					
DRAWN: N					
SHEET:					



1. CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
2. ☒ DENOTES FILL CELL REIN. W/ CONC. W/ 1 - #5 REBAR, GRADE 60.
☒ DENOTES FILL CELL RE NE_ W/ CONC. W/ 2-#5 REBAR, GRADE 60
3. ☒ DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 2500 P.S. I, 4" THICK WITH 6X6 10/10 GAUGE REINFORCING MAT. W/ MIN. 1" COVER TERMITE TREATED SOIL WITH 0.006mm (8mil) POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL. WWF SHALL BE PLACE IN MIDDLE TO UPPER THIRD OF SLAB AND SUPPORTED ON APPROVED SLAB BOLSTERS. *FIBER MESH REINFORCEMENT MAY USED AS ALTERNATIVE TO WIRE.
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
5. WATER HEATER T&P RELIEF VALVE SHALL E FULL SIZE TO EXTERIOR. WATER HEATER AT OR ABOVE FLOOR LEVEL G-1 FALL E IN A FAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE
6. PAVERS MAY BE USED ILO CONCRETE SLABS IN PATIO, PORCH DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED.
7. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
8. IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITE TREATED SOIL CA BE PREMISE 75 WP TERMICIDE.
9. BORA -CARE TO BE APPLIED ON INTERIOR WALLS W/ MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT FLORIDA BUILDING CODE LATEST EDITION.

FOUNDATION PLAN
ABC (STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)

THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE-RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY

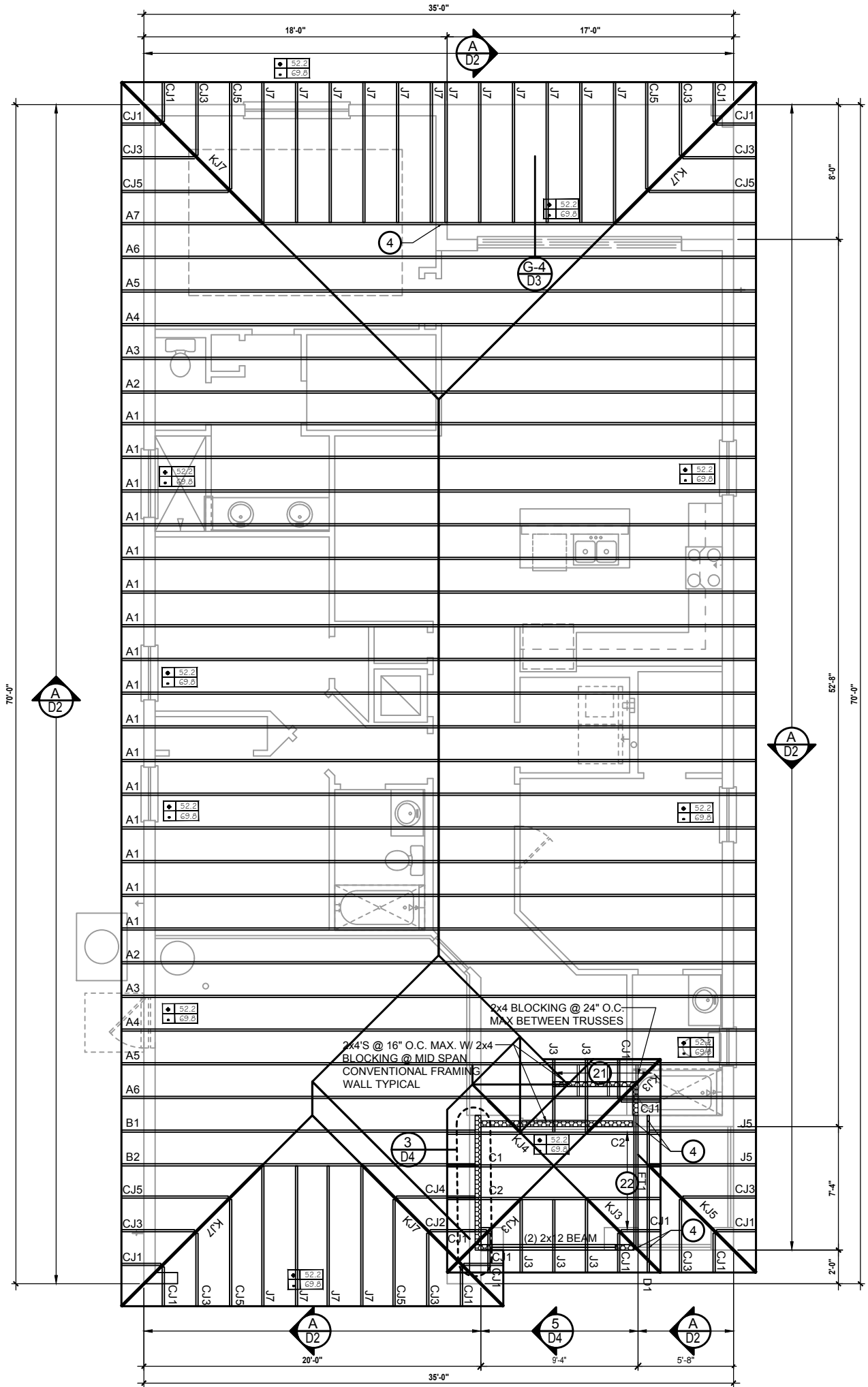
	1771 DAYTONA		FOUNDATION PLAN		FLORIDA SERIES
	REVISIONS				
	DELTA #	DATE			
	DATE: 06-05-17				
	SCALE: AS NOTED				
DRAWN:			1		
SHEET:					

SAFE LOAD TABLES FOR GRAVITY, UPLIFT & LATERAL LOADS											
8" PRECAST & PRESTRESSED U-LINTELS											
GRAVITY											
LENGTH	TYPE	8U8									
			8F8-0B	8F12-0B	8F16-0B	8F20-0B	8F24-0B	8F28-0B	8F32-0B		
2'-10" (34")	PRECAST	2302	8F9-1B 3166	8F12-1B 4473	8F16-1B 6039	8F20-1B 7526	8F24-1B 9004	8F28-1B 10472	8F32-1B 11936		
3'-6" (42")	PRECAST	2302	3138	3377	4689	6001	7315	8630	9947		
4'-0" (48")	PRECAST	2029	3166	4473	6039	7526	9004	10472	11936		
4'-6" (54")	PRECAST	1651	2325	2496	3467	4438	5410	6384	7358		
5'-4" (64")	PRECAST	1184	1787	1913	2657	3403	4149	4896	5644		
5'-10" (70")	PRECAST	972	1223	1301	1809	2317	2826	3336	3846		
6'-6" (78")	PRECAST	937	1665	2889	5057	6096	5400	6424	7450		
7'-6" (90")	PRECAST	767	1000	1059	1474	1889	2304	2721	3137		
8'-0" (96")	PRECAST	670	1459	2464	4144	5458	4437	5280	6122		
8'-8" (104")	PRECAST	618	1255	2101	3263	2746	3358	3971	4585		
9'-4" (112")	PRECAST	573	1029	1675	2385	1994	2439	2886	3333		
10'-6" (126")	PRECAST	456	830	1362	1927	1602	1961	2320	2680		
11'-4" (136")	PRECAST	445	899	1445	2214	3192	4533	6513	4087		
12'-0" (144")	PRECAST	414	767	1257	1779	1479	1810	2142	2474		
13'-4" (160")	PRECAST	362	829	1332	2044	2946	4184	6012	3773		
14'-0" (168")	PRECAST	338	632	1049	1469	1210	1482	1754	2027		
14'-8" (176")	PRESTRESSED	N.R.	768	1212	1818	2544	3469	4030	3127		
15'-4" (184")	PRESTRESSED	N.R.	482	802	1125	915	1122	1328	1535		
17'-4" (208")	PRESTRESSED	N.R.	658	1025	1514	2081	2774	3130	2404		
19'-4" (232")	PRESTRESSED	N.R.	598	935	1365	1854	2355	1793	2075		
21'-4" (256")	PRESTRESSED	N.R.	598	935	1365	1854	2441	3155	4044		
22'-0" (264")	PRESTRESSED	N.R.	545	864	1254	1693	2074	1570	1818		
24'-0" (288")	PRESTRESSED	N.R.	555	864	1254	1693	2211	2832	3590		
			427	726	1028	1331	1635	1224	1418		
			465	748	1076	1438	1856	2343	2920		
			381	649	919	1190	1462	1087	1260		
			455	700	1003	1335	1714	2153	2696		
			NR	NR	NR	NR	NR	NR	NR		
			465	765	1370	2045	2610	3185	3785		
			NR	NR	NR	NR	NR	NR	NR		
			420	695	1250	1955	2370	2890	3410		
			NR	NR	NR	NR	NR	NR	NR		
			310	530	950	1400	1900	2200	2600		
			NR	NR	NR	NR	NR	NR	NR		
			240	400	750	1090	1400	1720	2030		
			NR	NR	NR	NR	NR	NR	NR		
			183	330	610	940	1340	1780	2110		
			NR	NR	NR	NR	NR	NR	NR		
			160	300	570	870	1250	1660	1970		
			NR	NR	NR	NR	NR	NR	NR		
			130	240	470	720	1030	1350	1610		

8" PRECAST W/ 2' RECESS DOOR U-LINTELS											
GRAVITY											
LENGTH	TYPE	8RU6									
			8RF8-0B	8RF10-0B	8RF14-0B	8RF16-0B	8RF22-0B	8RF26-0B	8RF30-0B		
4'-4" (52")	PRECAST	1489	8RF9-1B 1591	8RF10-1B 2053	8RF14-1B 2882	8RF16-1B 3654	8RF22-1B 4929	8RF26-1B 5904	8RF30-1B 6880		
4'-6" (54")	PRECAST	1357	1827	2412	4282	6472	7947	9416	10878		
5'-8" (68")	PRECAST	785	1449	2762	2714	3600	4487	5375	6264		
5'-10" (70")	PRECAST	735	1702	2412	4282	6472	7947	9416	10878		
6'-8" (80")	PRECAST	822	832	1692	1550	2028	2566	3075	3585		
7'-6" (90")	PRECAST	665	1153	2162	4074	6472	6516	5814	6839		
9'-8" (116")	PRECAST	371	779	1500	1449	1924	2400	2876	3352		
			1103	2051	3811	6472	6516	5450	6411		
			907	1677	2933	2576	3223	3872	4522		
			907	1677	2933	4100	6730	8177	6707		
			761	1377	2252	1958	2451	2944	3439		
			764	1377	2329	3609	5492	6624	5132		
			420	834	1253	1071	1342	1614	1886		
			535	928	1497	2179	2618	3595	2875		

8" PRECAST & PRESTRESSED U-LINTELS											
		UPLIFT							LATERAL		
LENGTH	TYPE	8F8-1T	8F12-1T	8F16-1T	8F20-1T	8F24-1T	8F28-1T	8F32-1T	8U8	8F8	
		8F8-2T	8F12-2T	8F16-2T	8F20-2T	8F24-2T	8F28-2T	8F32-2T			
2'-10" (34")	PRECAST	2727	2878	4101	5332	6569	7811	9055	2021	2021	
3'-6" (42")	PRECAST	2727	2784	3981	5190	6407	7630	8857	1257	1257	
4'-0" (48")	PRECAST	2165	2289	3260	4237	5219	6204	7192	938	938	
4'-6" (54")	PRECAST	1878	1989	2832	3680	4532	5387	6245			
4'-6" (54")	PRECAST	1878	1925	2750	3583	4422	5264	6110			
4'-6" (54")	PRECAST	1660	1762	2507	3257	4010	4767	5525	727	727	
5'-4" (64")	PRECAST	1660	1705	2435	3171	3913	4658	5406			
5'-4" (64")	PRECAST	1393*	1484	2110	2741	3375	4010	4648	505	505	
5'-4" (64")	PRECAST	1393	1437	2050	2670	3293	3920	4549			
5'-10" (70")	PRECAST	1272*	1357	1930	2505	3084	3665	4247	418	418	
5'-10" (70")	PRECAST	1272	1315	1875	2441	3010	3583	4157			
6'-6" (78")	PRECAST	1141*	1200	1733	2250	2769	3290	3812	707	887	
6'-6" (78")	PRECAST	1141	1182	1684	2192	2703	3216	3732			
7'-6" (90")	PRECAST	959*	912	1475	1914	2354	2797	3240	591	657	
7'-6" (90")	PRECAST	990	1029	1466	1907	2351	2797	3245			
9'-4" (112")	PRECAST	801*	612	980	1269	1560	1852	2144	454	630	
9'-4" (112")	PRECAST	801	755	1192	1550	1910	2271	2634			
10'-6" (126")	PRECAST	716*	498	793	1027	1261	1496	1731	396	493	
10'-6" (126")	PRECAST	716	611	1039	1389	1711	2034	2358			
11'-4" (136")	PRECAST	666*	439	696	899	1104	1309	1515	363	556	
11'-4" (136")	PRECAST	666	535	905	1295	1595	1896	2198			
12'-0" (144")	PRECAST	607*	400	631	816	1001	1186	1372	340	494	
12'-0" (144")	PRECAST	631	486	818	1209	1514	1799	2086			
13'-4" (160")	PRECAST	500*	340	532	686	841	997	1153	302	398	
13'-4" (160")	PRECAST	573	409	682	1004	1367	1637	1897			
14'-0" (168")	PRECAST	458*	316	493	635	778	922	1065	286	360	
14'-0" (168")	PRECAST	548	378	629	922	1254	1567	1816			
14'-8" (176")	PRESTRESSED	243	295	459	591	724	857	990	N.R.	357	
14'-8" (176")	PRESTRESSED	243	352	582	852	1156	1491	1742			
15'-4" (184")	PRESTRESSED	228	278	430	553	677	801	925	N.R.	327	
15'-4" (184")	PRESTRESSED	228	339	542	791	1072	1381	1676			
17'-4" (208")	PRESTRESSED	188	236	361	464	567	670	774	N.R.	255	
17'-4" (208")	PRESTRESSED	188	276	449	649	874	1121	1389			
19'-4" (232")	PRESTRESSED	165	207	313	401	490	578	667	N.R.	204	
19'-4" (232")	PRESTRESSED	165	239	383	550	736	940	1160			
21'-4" (256")	PRESTRESSED	145	186	278	356	433	512	590	N.R.	172	
21'-4" (256")	PRESTRESSED	142	212	336	477	635	807	993			
22'-0" (264")	PRESTRESSED	140	180	268	343	418	493	568	N.R.	161	
22'-0" (264")	PRESTRESSED	137	205	322	457	607	771	947			
24'-0" (288")	PRESTRESSED	127	165	244	312	380	447	515			
24'-0" (288")	PRESTRESSED	124	186	290	408	538	680	833	N.R.	135	

CONNECTOR SCHEDULE				
CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1½"	1,810	65 / 960
5	DETAL20	18-10d x 1½"	2,480	2000/ 1370
20	H3	RFT: 4-8d / PLT: 4-8d	400	210 / 170
21	H1	RFT:6-8dx1½"/PLT:4-8d	480	510 / 165
22	H10S	RFT: 8-8d x 1½"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT:5-8d / PLT: 5-8d	415	150 / 150
34	A34	H:4-8dx1½"/P:4-8dx1½"	365	280 / 303
35	A35F	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	1,000	N/A
39	MTS30	14-10d	1000	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD:6-10d / PLT:4-10d	535	560 / 260
80	SP2	STD:6-10d / PLT:6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1½"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD:(3) 7/8"x5½" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-¼"x2¼" TC JOIST : 7-10d	860	N/A
98	HTT4	SILL: 7/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
102	HTT5	7/8" BOLT/ 26-10d	4,275	N/A
103	VGTR/L	32-SDS½"x3"/(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT/20-SDS ¼"x2½"	5,020	N/A
110	HCP1.81	(6) 0.148 x 1½"	590	255 / N/A
167	HHUS46	H:14-16d/J:6-16d	1,550	N/A
168	U46	H:8-10d/J:4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H:14-16d/J:4-10d	1,085	N/A
214	HUC212-3TF	HD:16-3/16"x1½" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR:46-16d/JST:10-16d	2,720	N/A
216	HUS412	BLOCK: 10-¼"x1½" TC JOIST : 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-¼"x1½" TC JOIST : 10-16d	2,630	N/A
219	MBHA412	H:1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	2,160	N/A
231	MBHA3.56/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
232	MBHA5.50/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
240	H16	R:2-10dx1½"/P:10-10dx1½"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL:3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL:3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE:18-16d/JST:8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



WALL KEY

T.O.WALL 9'-4"

T.O.WALL 14'-2"

COMPONENT & CLADDING
DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+

XXXULTIMATE DESIGNED POSITIVE PRESSURE

-

XXXULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

1- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.

2- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1¼" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1¼" - REQUIRE SPECIAL ENGINEERING LETTER.

3- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE

NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.

2. TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.

3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC.STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 7TH EDITION (2020)FLORIDA RESIDENTIAL CODE.

4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.

5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY KIN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI 1.

6. REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.

7. ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.

8. SHINGLE ROOF : UNDERLAYMENT TO BE INSTALLED IAW FBOR 2023, 8TH EDITION R905.1.1.1 UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.1

9. OFF RIDGE VENTS MAXIMUM OPENING SIZES: REFER TO MANUFACTURE SPECIFICATIONS.

ROOF FRAMING PLAN

AS (STANDARD)

1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)

DISCLAIMER: CONTRACTOR/SUB-CONTRACTOR IS RESPONSIBLE TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO COMMENCEMENT OF CONSTRUCTION. PARK SQUARE HOMES IS NOT RESPONSIBLE FOR ANY MISINTERPRETATIONS, ERRORS, OMISSIONS OR CUSTOM CHANGES MISSED AND NOT REPORTED PRIOR TO CONSTRUCTION. NO EXCEPTIONS.

THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE-RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY

1771 DAYTONA

FLORIDA SERIES

REVISIONS

DELTA #	DATE
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	SCALE: AS NOTED
	DRAWN: MR
	SHEET:

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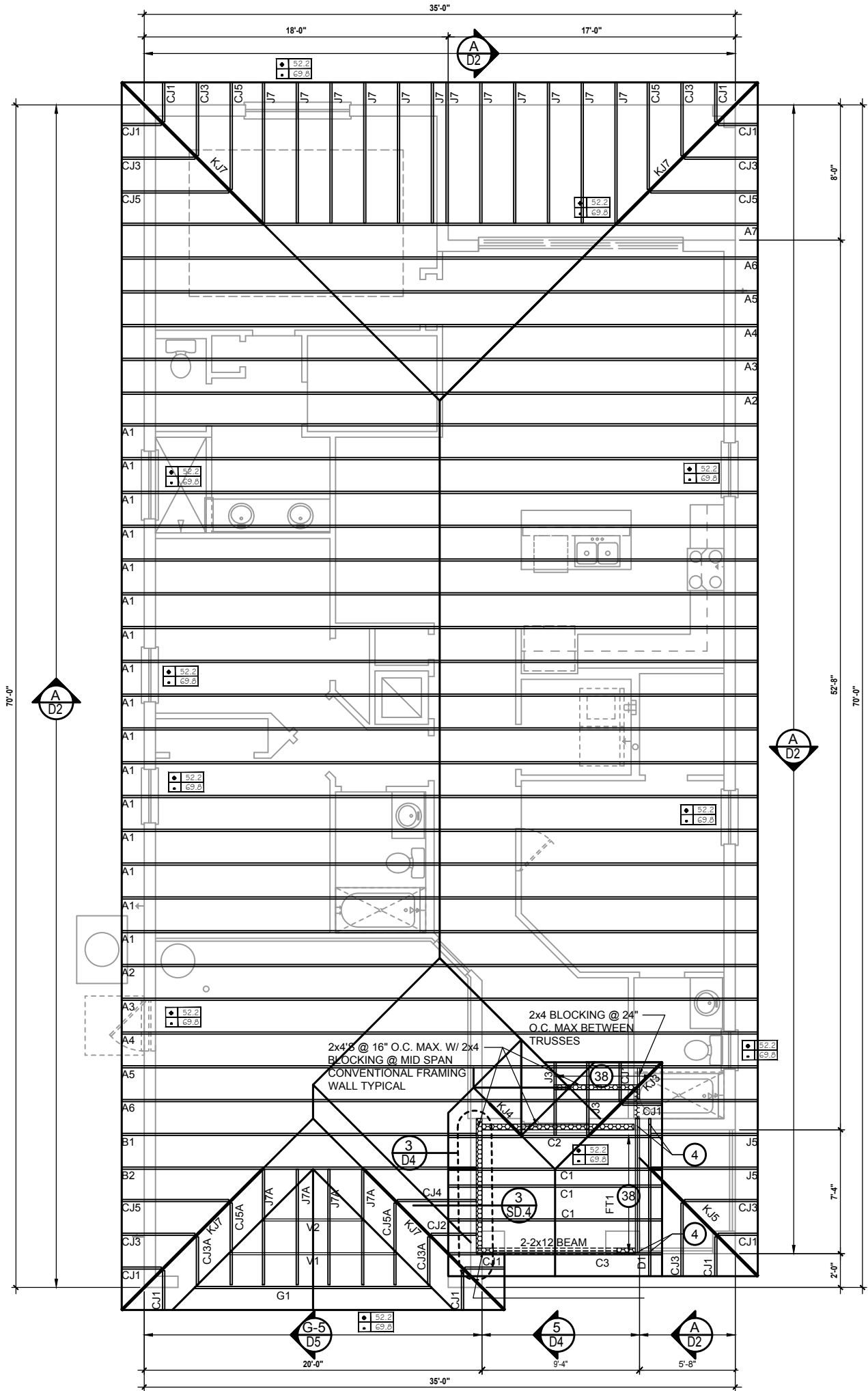
1771 DAYTONA

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	SHEET:

CONNECTOR SCHEDULE				
CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1½"	1,810	65 / 960
5	DETA120	18-10d x 1½"	2,480	2000/ 1370
20	H3	RFT: 4-8d / PLT: 4-8d	400	210 / 170
21	H1	RFT:6-8dx1½"/PLT:4-8d	480	510 / 165
22	H10S	RFT: 8-8d x 1½"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT:5-8d / PLT: 5-8d	415	150 / 150
34	A34	H:4-8dx1½"/P:4-8dx1½"	365	280 / 303
35	A35F	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	1,000	N/A
39	MTS30	14-10d	1000	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD:6-10d / PLT:4-10d	535	560 / 260
80	SP2	STD:6-10d / PLT:6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1½"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD:(3) 7/8"x5½" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-¼"x2¼" TC JOIST : 7-10d	860	N/A
98	HTT4	SILL: 7/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
102	HTT5	7/8" BOLT/ 26-10d	4,275	N/A
103	VGTR/L	32-SDS½"x3"/(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT/20-SDS ¼"x2½"	5,020	N/A
110	HCP1.81	(6) 0.148 x 1½"	590	255 / N/A
167	HHUS46	H:14-16d/J:6-16d	1,550	N/A
168	U46	H:8-10d/J:4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H:14-16d/J:4-10d	1,085	N/A
214	HUC212-3TF	HD:16-3/16"x1½" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR:46-16d/JST:10-16d	2,720	N/A
216	HUS412	BLOCK: 10-¼"x1½" TC JOIST : 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-¼"x1½" TC JOIST : 10-16d	2,630	N/A
219	MBHA412	H:1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	2,160	N/A
231	MBHA3.56/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
232	MBHA5.50/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
240	H16	R:2-10dx1½"/P:10-10dx1½"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL:3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL:3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE:18-16d/JST:8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



STRUCTURAL NOTES

1. THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 8TH EDITION, FBCR 2023 (WIND LOAD @ 140 MPH.)
LIVE LOAD ROOF: 20 PSF.
FLOOR: 40 PSF, BALCONIES & STAIRS: 40 PSF
OCCUPANCY= 1.0
BUILDING CATEGORY R3, WIND EXPOSURE C
INTERNAL PRESSURE COEFFICIENTS = +0.18 AND -0.18
2. WINDOWS, DOORS, AND GARAGE DOORS TO BE DESIGNED TO MEET FBCR SECTION R301
3. ALL FLOOR SLABS TO BE OF 2,500 PSI CONC. PLANT MIX MIN. 4" THICK WITH 6x6 10/10 WIRE MESH 6 MIL. POLY. VAPOR-BARRIER OVER TERMITE TREATED COMPACTED CLEAN FILL.
4. CONCRETE MASONRY UNITS SHALL MEET: CH. 1-3 OF ACI 530-02/ ASCE 5-02/TMS 402-02 OR BIA BUILDING CODE REQUIREMENTS.
5. MORTAR TO BE TYPE "M" OR "S", GROUT - 2,500 PSI @ 28 DAYS.
6. MASONRY CLEAN OUTS REQUIRED @ GROUT GREATER THAN FIVE (5) FEET IN HEIGHT AND ALL VERTICALS.
7. REBAR TO BE # 5'S GRADE 60, W/ MIN. LAP OF 25". USE "L" BARS @ CORNERS AND USE STANDARD HOOKS @ CHANGE IN DIRECTION WITH MIN. LAP 12"
8. GYP. BD. CEILING SHALL BE INSTALLED PERP. TO FRAMING & NAILED @ 7" O.C. WITH 5d NAILS. GYP. BD. WALLS SHALL BE NAILED @8" O.C. WITH 5d NAILS
9. UPLIFT CONNECTOR'S TO PROVIDE CONTINUITY FROM ROOF TRUSSES THRU PLATES TO SLAB AND FOUNDATION PER ENCLOSED DETAILS.
10. EPOXY ANCHOR ALTERNATIVE:
THREADED ANCHOR ROD MAY BE USED IN LIEU OF ANCHOR BOLTS FOR USE AS PLATE ANCHORS OR HURRICANE ANCHORS.
THE FOLLOWING CRITERIA MUST BE MET:
ANCHOR SIZE CONC. HOLE SIZE MIN. HOLE DEPTH
1/2" -3/4" 7"
-5/8" -7/8" 7"
-3/4" 1" 8"
-7/8" 1-1/8" 9"
AFTER HOLE IS DRILLED, ALL CONCRETE DUST MUST BE REMOVED PRIOR TO EPOXY INSTALLATION. THREADED ROD TO BE MIN. A36 STEEL AND FREE OF DIRT OR GREASE. LOAD ON ROD CANNOT BE APPLIED UNTIL 12 HOURS AFTER INSTALLATION. 2 COMPONENT EPOXY RESIN MATERIAL TO BE MIXED PER MFG. DIRECTIONS.
11. SOIL BEARING CAPACITY 2000 PSF MINIMUM

WOOD STRUCTURAL NOTES

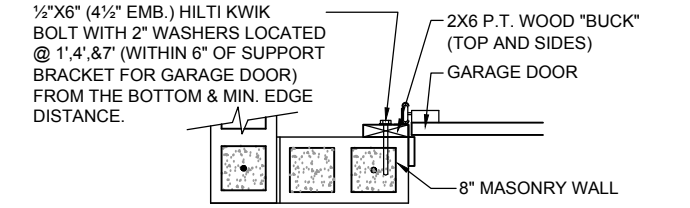
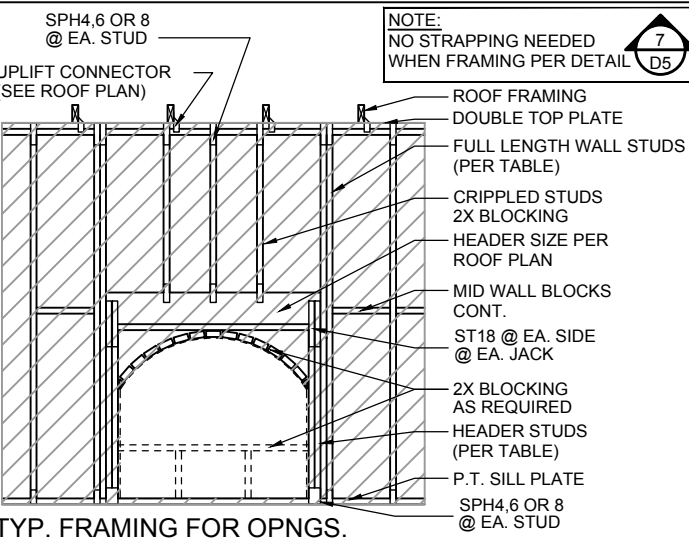
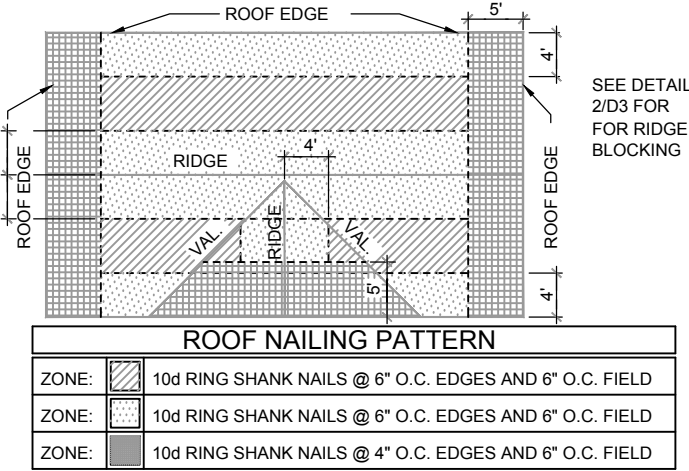
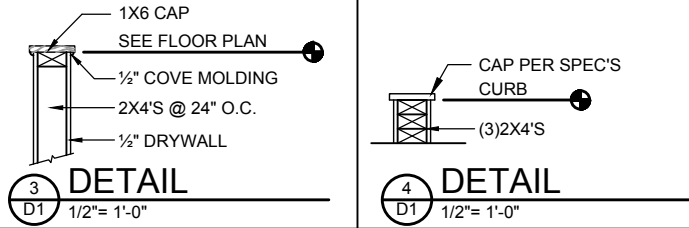
1. ALL WOOD TO BE SPECIES, GROUP, AND GRADE AS NOTED BELOW. DAMAGED WOOD NOT TO BE USED.
2. ALL STRUCTURAL LUMBER SHALL BE SPF (SPRUCE-PINE-FIR) #2 OR BETTER UNLESS OTHERWISE NOTED. (PRE ENG. TRUSSES EXCLUDED)
3. END JOINT IN STRUCTURAL DOUBLE TOP PLATE TO BE OFFSET AT LEAST 4". STRUCTURAL DOUBLE PLATES TO BE NAILED @ 6" O.K..
4. PLYWOOD OR OSB. WALL SHEATHING NAIL PATTERN TO BE 10d @ 6" O.C.. UNLESS OTHERWISE NOTED.
5. NUMBER OF HEADER STUDS AND ADJACENT FULL LENGTH STUDS PER WALL AND HEADER STUD REQUIREMENT SCHEDULE.
6. MAX. 1" HOLE DRILLED INTO EXTERIOR STRUCTURAL STUDS.
7. DBL. STUDS @ EA. END OF SHEAR WALL.
8. WHEN ANCHORING MULTIPLE WD. ITEMS TOGETHER, THE LENGTH OF HURRICANE STRAP MUST BE CENTERED.
9. NAIL PATTERN
- | |
|---|
| -DOUBLE PLATE 12" O.C.. OUTSIDE SPLICE ZONE (SEE NOTE 4) |
| -DOUBLE STUDS @ 12" O.C.. |
| -DOUBLE OR TRIPLE HEADER @ 6" O.C.. @ EDGE @ 12" O.C.. INTERMEDIATE. |
| -HEADER TO STUD @ 4" O.C.. EA. HEADER MEMBER. |
| -STUD TO TOP OR BOTTOM PLATE : (2) 16d THRU PLT. OR (2) 16d EA. SIDE TOE NAILED TO PLT. |
10. -ROOF SHEATHING SHALL BE FASTENED TO ROOF FRAMING IN ACCORDANCE WITH TABLE R803.2.3.1 FOR SHINGLE ROOF TO BE MIN. 15/32 OSB, NAILED (10d RING SHANK NAILS) TO ROOF TRUSSES SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING. SHEATHING SHALL BE FASTENED WITH ASTM F1667 RSRs-01 (2 3/8" X 0.113") NAILS OR RSRs-04 (3"x0.120"x0.281 HEAD DIAMETER) NAILS.
- ROOF SHEATHING FOR TILE ROOF TO BE MIN. 19/32" OSB, 1/2" CDX PLYWOOD OR 1/2" ADVANTECH. NAILED (10d RING SHANK NAILS) TO ROOF TO ROOF TRUSS SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING. SHEATHING SHALL BE FASTENED WITH NAILS OR RSRs-04 (3"x0.120"x0.281 HEAD DIAMETER) NAILS.
11. FLOOR SHEATHING TO BE MIN. 23/32" PLYWOOD NAILED @ 6" O.C. W/ #8 RING SHANK NAILS AND LIQUID NAIL ADHESIVE.
12. ALL FLOOR TRUSSES TO BE END BLOCKED @ BEARING LOCATIONS
13. TRUSS BRACING PER TRUSS MANUFACTURE'S DRAWINGS.
14. ALL NAILING SPECIFIED TO BE APPLIED BY NAIL GUN OR MANUALLY
15. ALL WOOD IN DIRECT CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
16. 2000 PSF MINIMUM SOIL BEARING CAPACITY
17. NON BEARING WALL: 2X4 SPACED AT 24" O.C. UP TO 12'-0" HEIGHT WITH 2 ROWS OF HORIZONTAL 2X4 BLOCKING SPACE AT 4'-0" O.C.

GENERAL CONTRACTOR:

IT IS RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSTALL ALL MATERIALS MEETING FLORIDA APPROVAL COMPLIANCE TO AVOID WATER INTRUSION AND MOISTURE INTRUSION ON WINDOWS, DOORS, ROOF, AND ANY OTHER AREA AROUND EACH UNIT/ HOUSE/ APARTMENT/ CONDOMINIUM/ TOWNHOUSE.

FIELD REPAIR NOTES

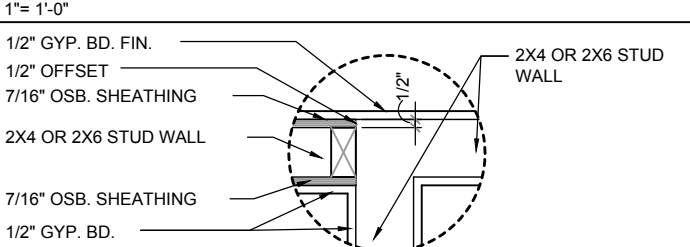
1. MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED W/ (1) USP MTW16 OR HC10 OR SIMPSON MTSM16 W/ (4) -1/4" X 2-1/4" TAPCONS TO BOND BEAM AND (7) 10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1720#). NO MORE THAN 10 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 3 IN A ROW. IF GIRGER TRUSS CONNECTIONS ARE MISSED CONTACT ENGINEER FOR SUBSTITUTION.
2. MISSED J-BOLTS FOR FRAMED EXTERIOR/ BEARING WALLS MAY BE SUBSTITUTED W/ 1/2" DIA. x 7" LONG WEDGE ANCHORS (REDHEADS).
3. MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
4. BLOCK WALL OVERHANGING SLAB CONDITION:
UP TO -7/8" - NO REPAIR NECESSARY
-7/8" TO 1-1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED.
1-1/4"+ - REQUIRE SPECIAL ENGINEERING LETTER.
5. PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/ FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE.



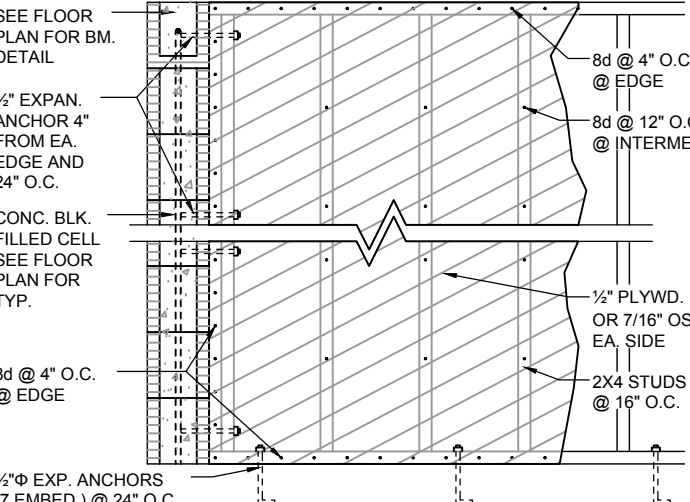
- DETAIL TO SATISFY 150 MPH WIND LOAD
- MASONRY FRAME SHALL BE MIN 8X16 ASTM C-9D
- GROUT FILLED CELL W/1/2" ASTM 2 #5 REBAR (GRADE 60) @ EA. SIDE OF GARAGE DOOR OPENING
- MAX. DISTANCE TO CORNER OF C.B.S. WALL REINF. 48"
- REINF. TO BE CONT. FROM FTG. TO TIE BEAM W/ ALL "ACI" DETAILS & DEVELOPMENT LENGTHS ADHERED TO
- GARAGE DOOR MANUF. TO PROVIDE ATTACHMENT TO "BUCK"

- 1.) THE GARAGE DOOR ASSEMBLY SHALL BE DESIGNED FOR POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF IN ACCORDANCE WITH SECTION R301 OF THE FLORIDA RESIDENTIAL CODE CERTIFICATION SHALL BE SUBMITTED FROM THE GARAGE DOOR MANUFACTURER TO THE BUILDING DEPARTMENT FOR THE FOLLOWING ITEMS:
- A.) THE DESIGN OF THE DOOR CAN WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF.
- B.) THE DESIGN OF THE DOOR COMPLIES WITH THE CRITERIA SPECIFIED IN SECTION R609 OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL, 8TH EDITION
- C.) DOOR SIZE, TYPE AND GLAZING
- D.) TRACK SIZE AND FASTENER DETAILS.
- E.) TRACK BRACKET QUANTITY, SPACING AND FASTENER DETAILS.
- F.) REINFORCING MEMBER QUANTITY, LOCATION, SIZE, TYPE AND FASTENER DETAILS. (IF REQUIRED)

GARAGE BUCK DETAIL



DETAIL @ CONN. TO REG. WALL

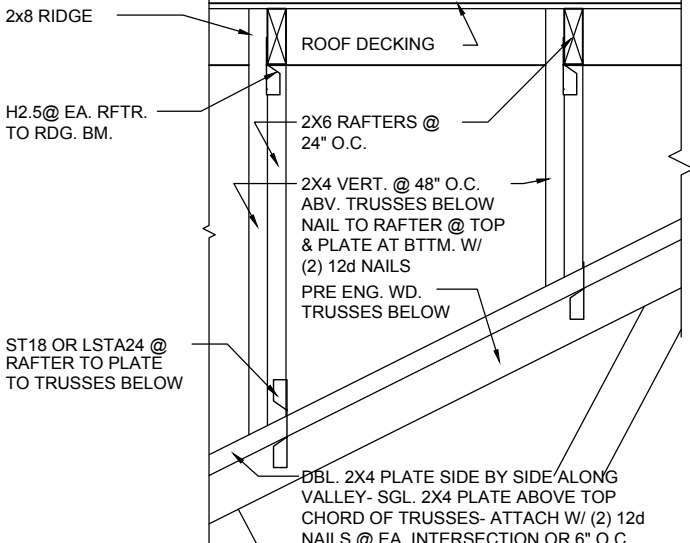
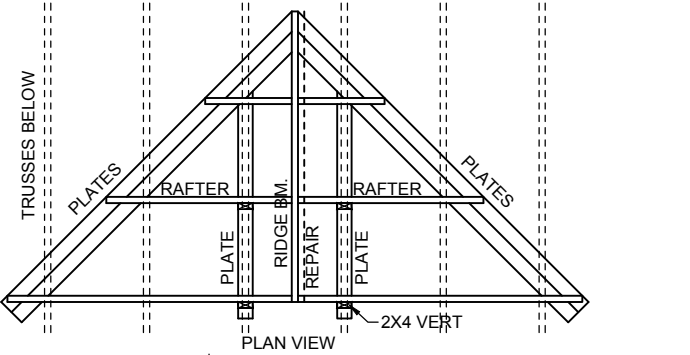


SHEAR WALL DETAIL

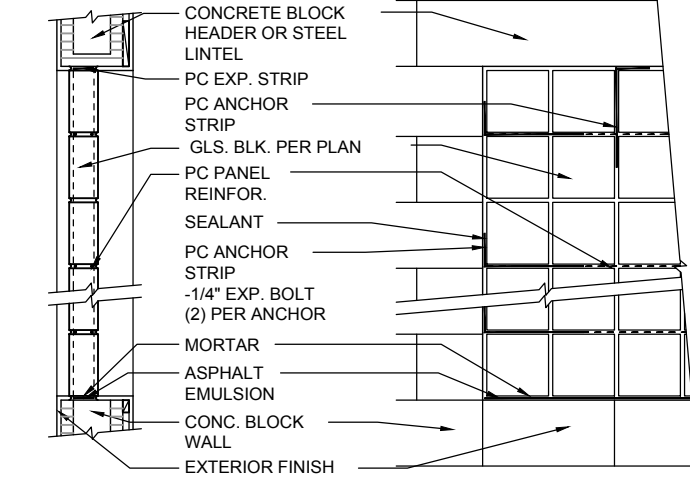
NOTED AS SHEAR WALL ON PLANS

MIN. WALL AND HEADER REQUIREMENTS

		MAXIMUM HEADER SPAN (ft.)					
		3'	6'	9'	12'	15'	18'
UNSUPPORTED WALL HEIGHT	STUD SPACING	NUMBER OF HEADER STUDS SUPPORTING END OF HEADER					
		1	1	2	2	2	2
		NUMBER OF FULL-LENGTH STUDS @ EACH END OF HEADER					
10' OR LESS		2	2	3	3	3	3
GREATER THAN 10'		2	2	3	4	5	5



VALLEY DETAIL



PANEL ANCHOR CONSTRUCTION

PC PANEL REINFORCING (TOP):
USED IN PANELS OVER 25"S.F. IN AREA, IS EMBEDDED HORIZONTALLY IN THE MORTAR JOINTS BETWEEN EVERY OTHER COURSE. PANEL REINFORCING IS FORMED OF TWO PARALLEL WIRES, EITHER 1-5/8" O.C. (FOR USE WITH "THINLINE" SERIES GLS. BLK.) OR 2" O.C. (FOR USE W/ "PREMIERE" SERIES GLS. BLK.), W/ BUTT WELDED CROSSWIRES AT REGULAR INTERVALS. 4' AND 10' LENGTHS AVAILABLE.

PC PANEL ANCHORS (MIDDLE):
ARE USED TO TIE PITTSBURGH CORNING GLASS BLOCK PANELS INTO THE SURROUNDING FRAMEWORK WHEN CHANNELS ARE NOT USED. FORMED FROM 20 GAUGE PERFORATED- THEN GALVANIZED STEEL STRIPS, PANEL ANCHORS ARE AVAIL. IN 1-3/4" WIDTHS X 24" LENGTHS.

PC EXPANSION STRIPS (BOTTOM):
MADE OF WHITE POLYETHYLENE, ARE INSERTED AT THE HEAD AND THE STRIPS REPLACE MORTAR AT THESE POINTS TO CUSHION THE GLASS BLOCK AND ALLOW THE PANEL TO EXPAND & CONTRACT FREELY. FOR METAL CHANNEL OR MASONRY CHASE CONSTRUCTION, PC EXPANSION STRIPS ARE AVAILABLE 3/8" THICK X 4" WIDE X 24" LONG. FOR PANEL ANCHOR CONSTRUCTION, STD. 4" WIDE STRIPS ARE EASILY CUT TO 3" WIDTH, FOR 3-7/8" "PREMIERE" SERIES BLK., AND TO 2-1/4" WIDTH, FOR 3-1/8" "THINLINE" SERIES BLOCK.

GLASS BLOCK DETAIL

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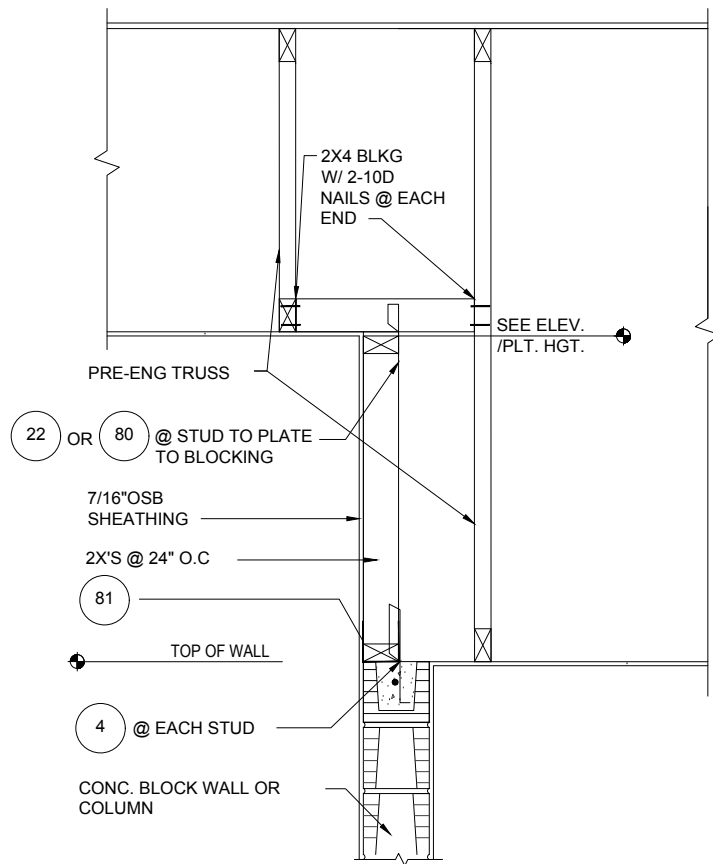
STRUCTURAL NOTES & DETAILS

1771 DAYTONA

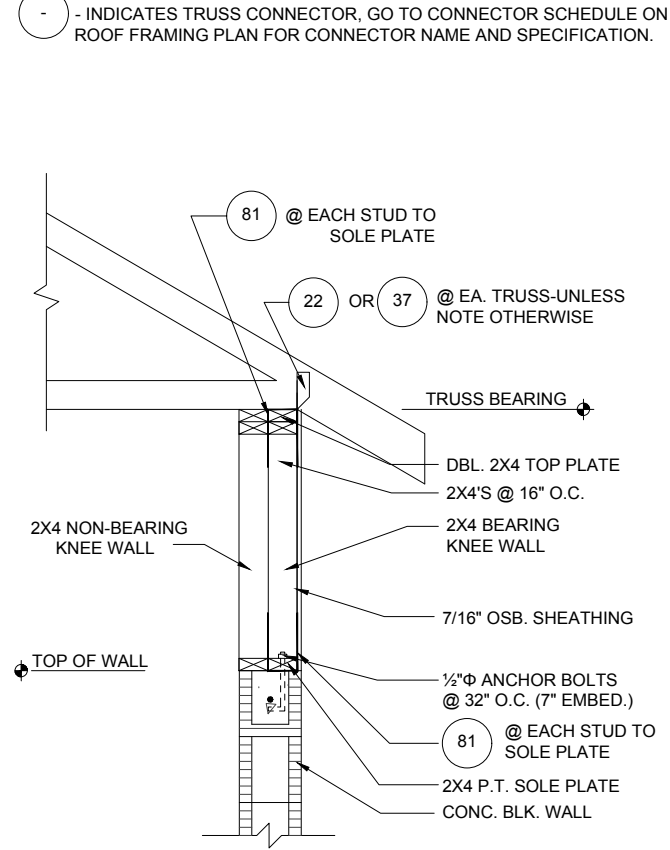
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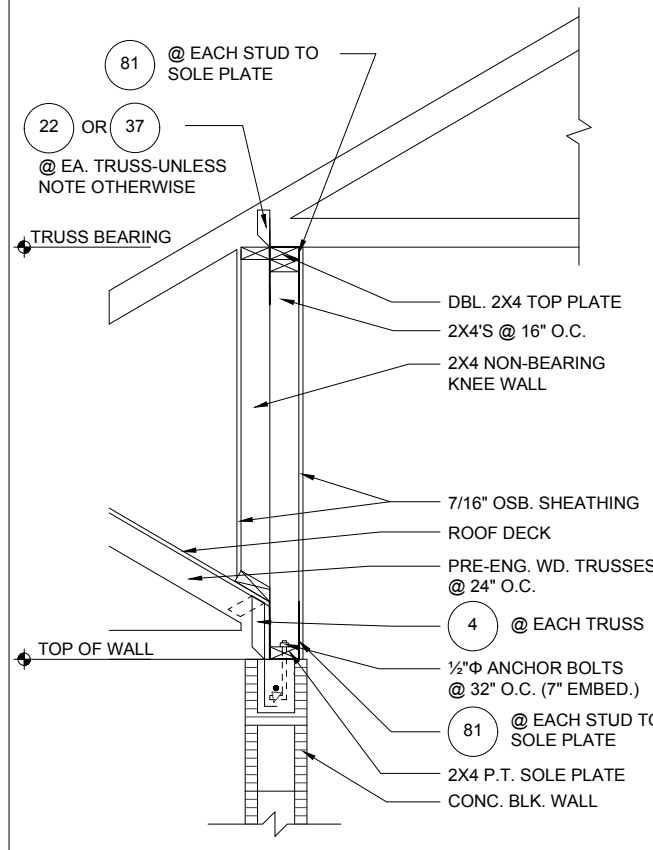
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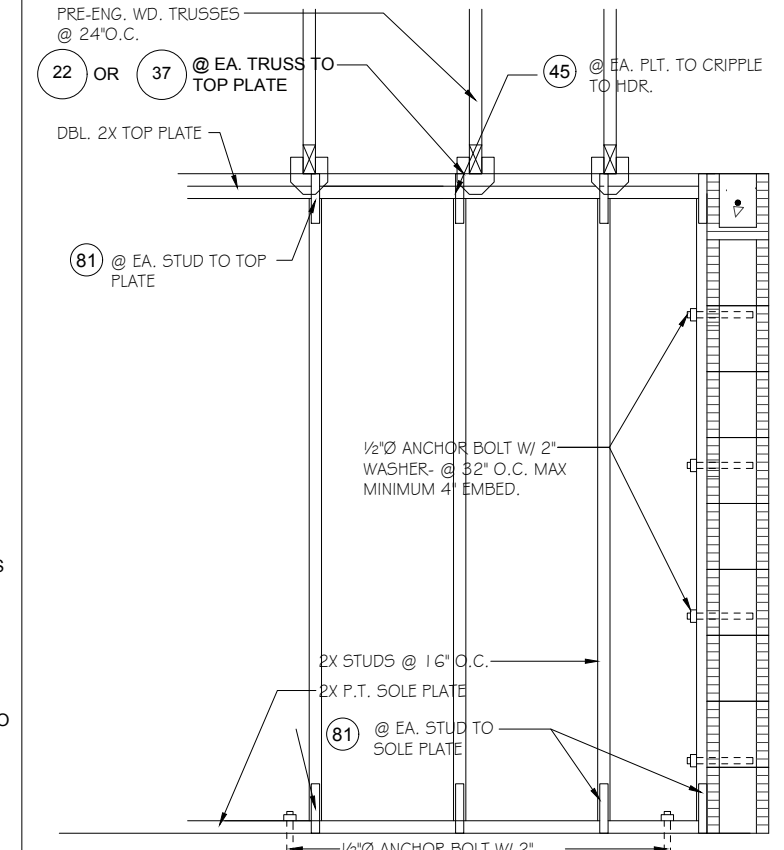
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D4
DETAIL
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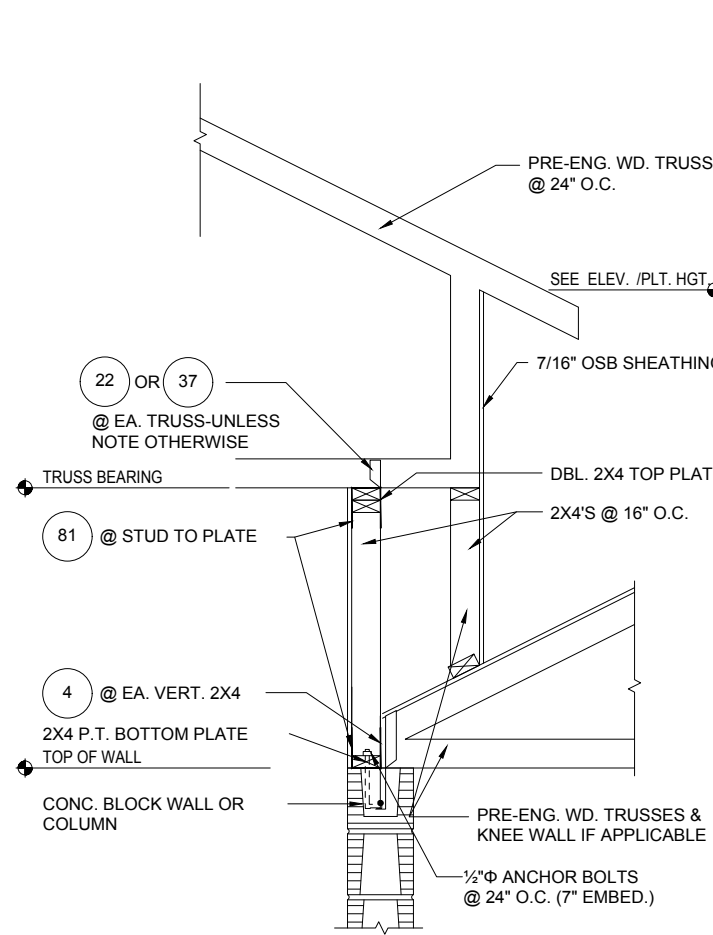
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DETAIL
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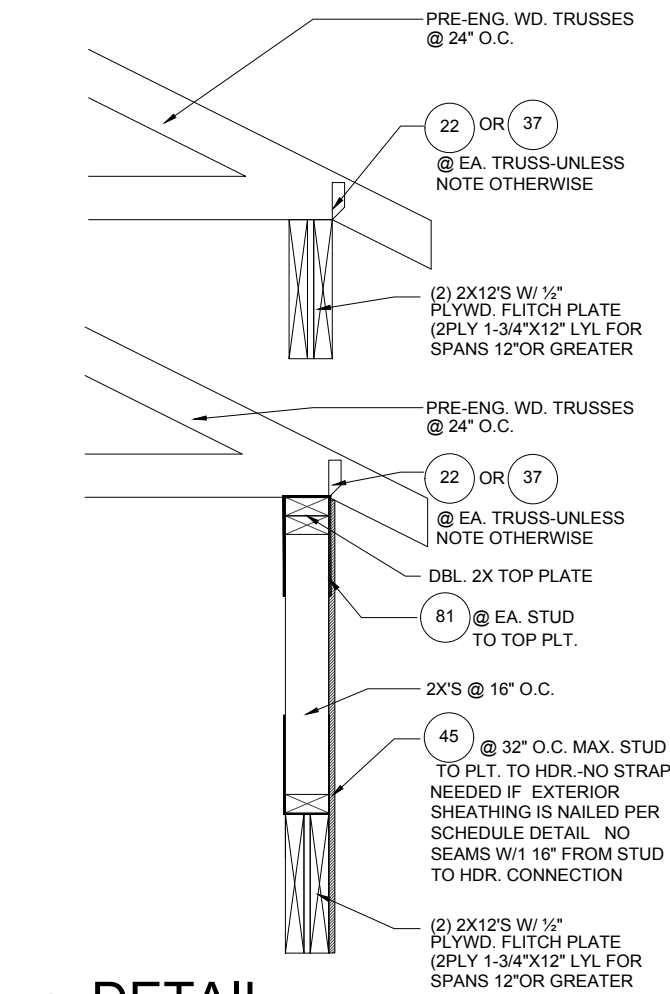
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D4
DETAIL
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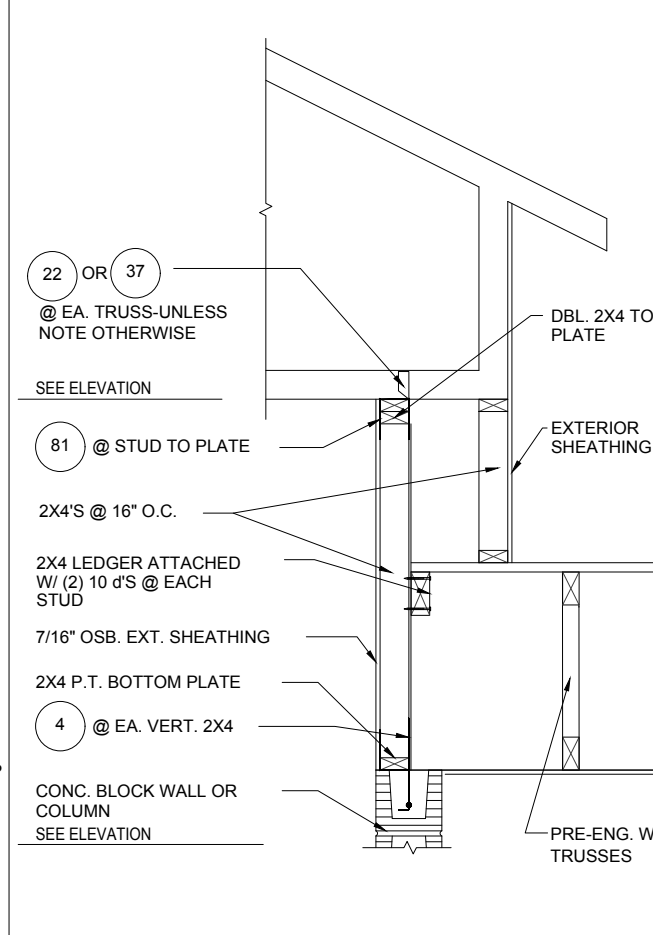
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DETAIL
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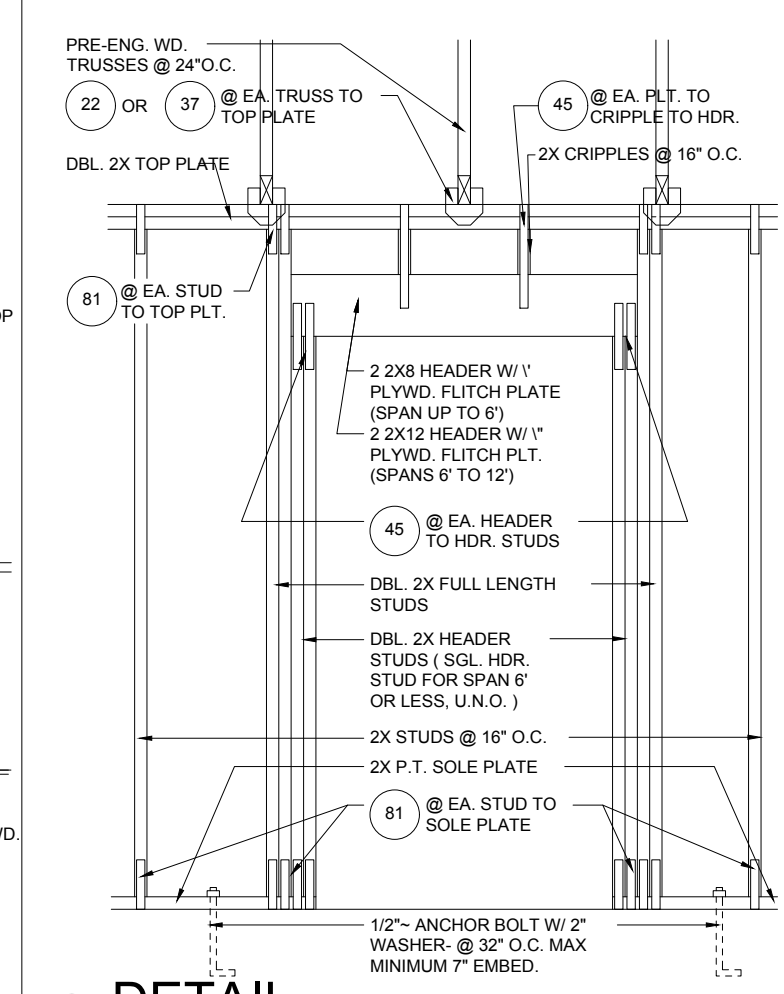
4
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



5
D4
DETAIL



6
D4
DETAIL



8
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

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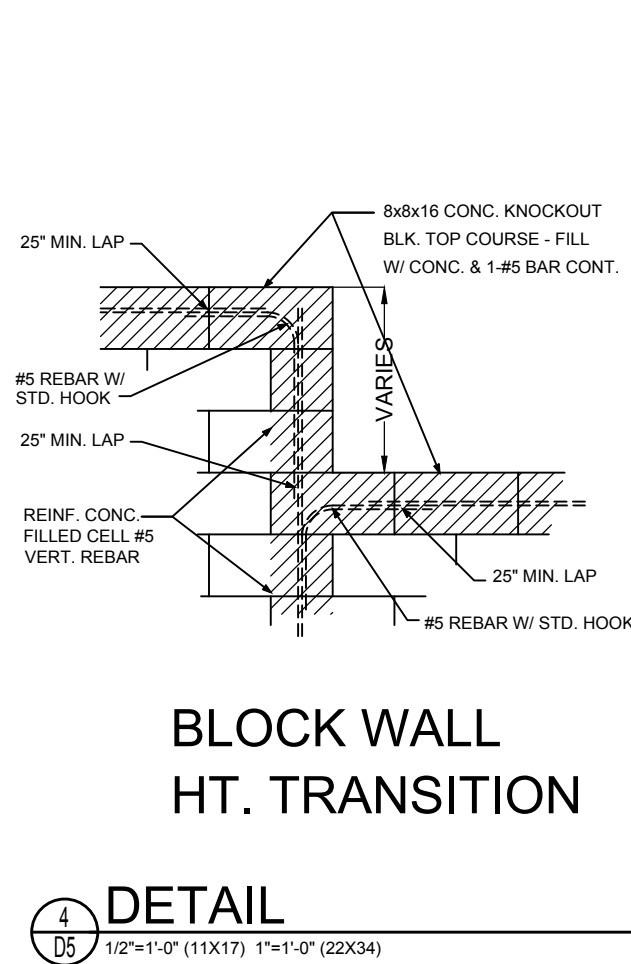
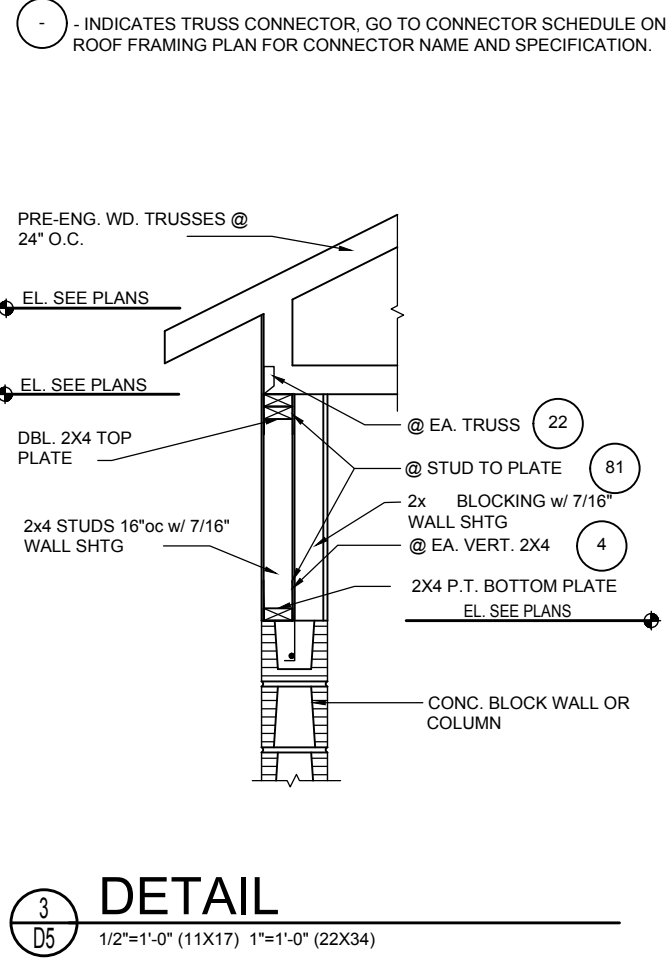
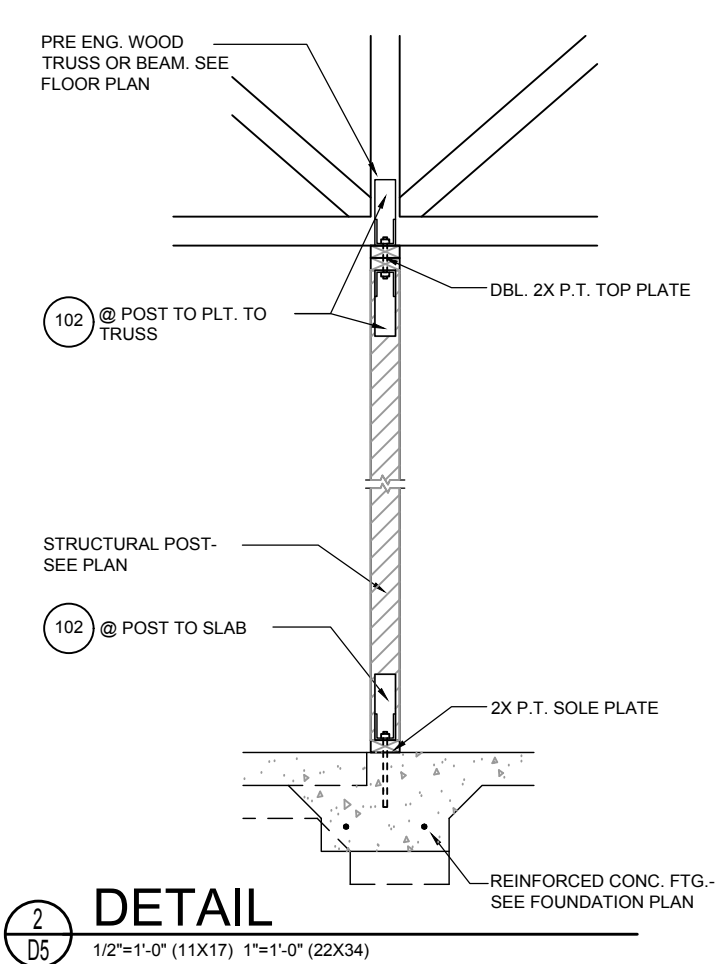
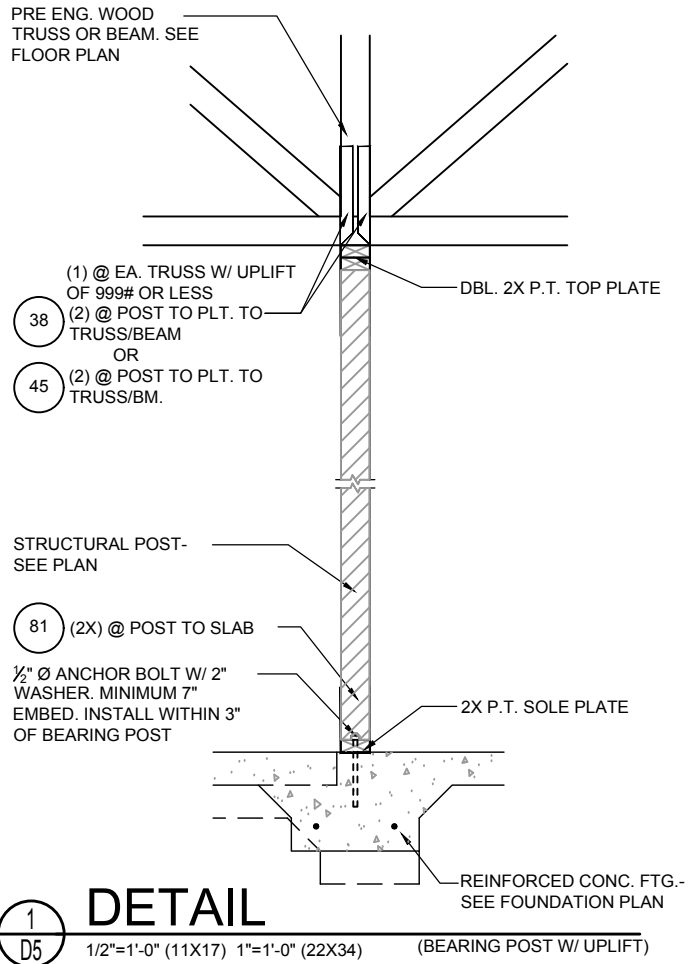
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DATE: 06-05-25	
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SHEET:	D4

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STRUCTURAL DETAIL

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Orlando, Florida 32811
Phone (407) 529 - 3000

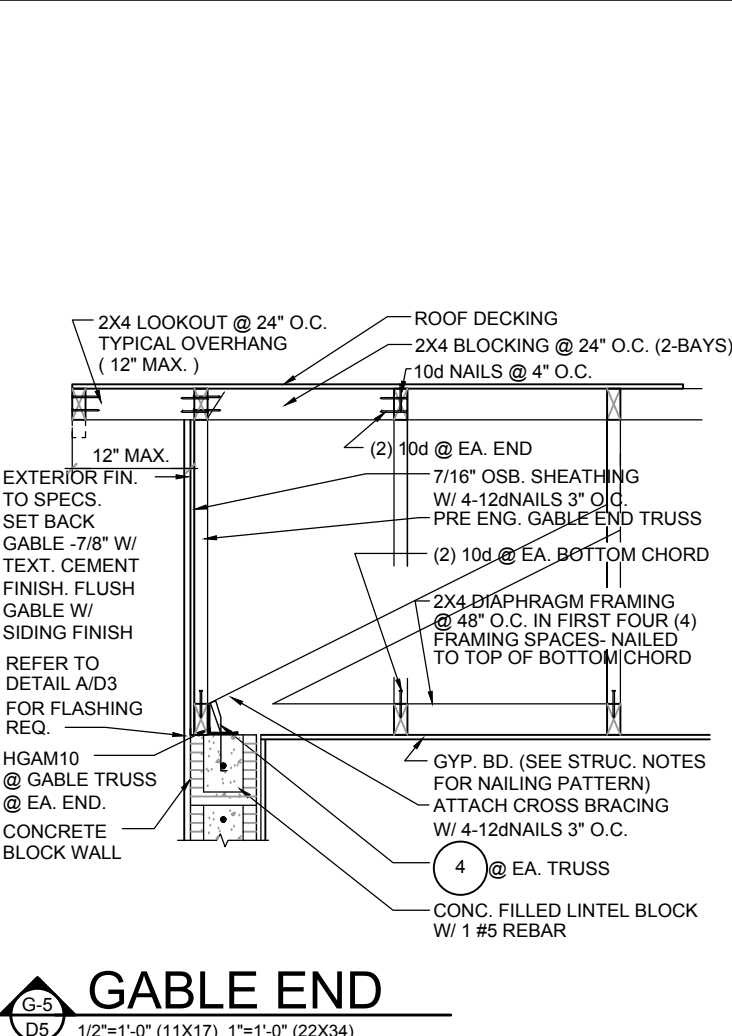
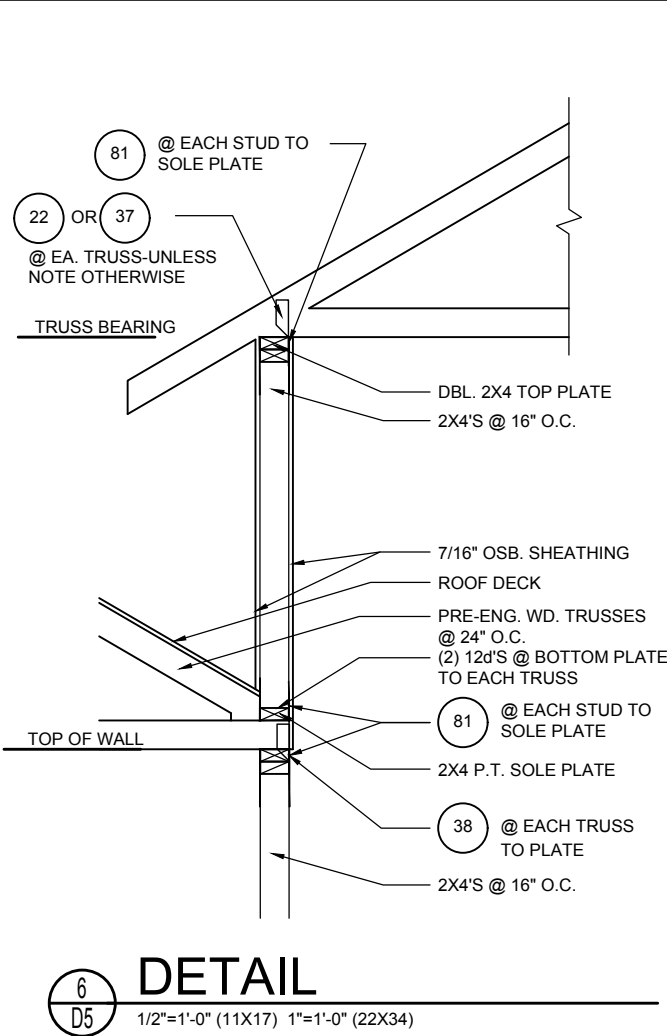
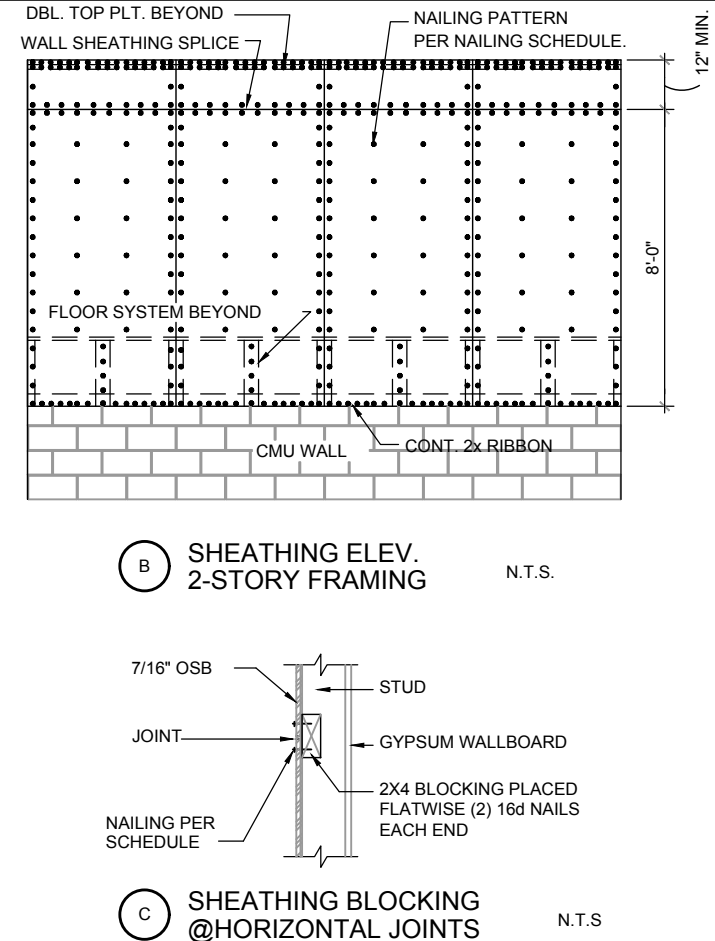
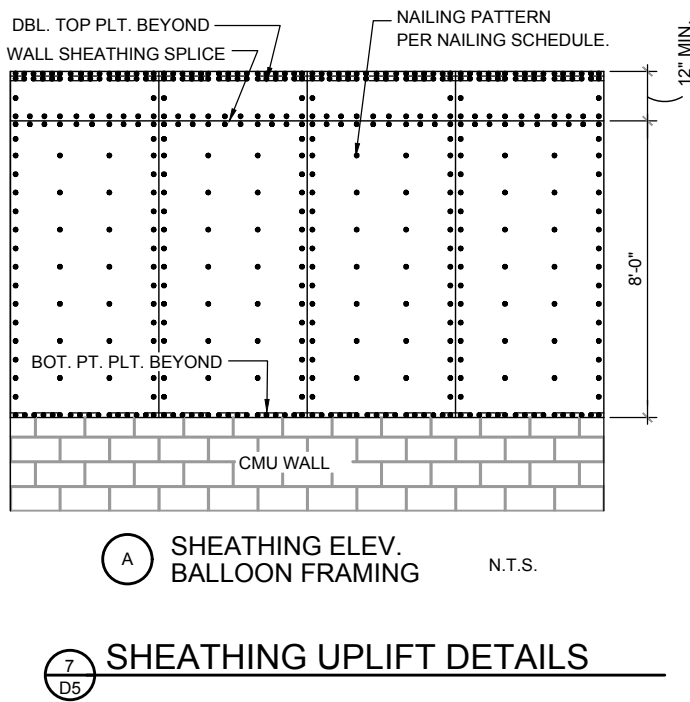
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BLOCK WALL HT. TRANSITION

NOTE:
1/2" PLYWOOD OR 7/16" O.S.B. TO BE USED AS UPLIFT RESISTANCE NO OTHER FASTENERS REQ'D. AT STUD/FLOOR TRUSS, EXCEPT AS NOTED ON PLANS IN TWO STORY FRAME APPLICATIONS, SHEATHING SHALL EXTEND MIN. 1'-0" W/O BREAK ABV. 2nd FLOOR BOTTOM PLT. TO T.O.M.

NAILING SCHEDULE:
(2)ROWS @ 3" O.C. AT TOP AND (1)ROW AT BOTTOM OF WALL, 6" O.C. ALL OTHER EDGES AND 12" IN FIELD. BLOCKING SHALL BE PLACED AT ALL SHEATHING JOINTS.



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SHEET:	
D5	