

2980
KINGSLEY
FLORIDA SERIES (TAMPA)
40' X 65'



REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY
1	11-18-25	-CREATED NEW MASTER	M.R.

SHEET INDEX:	
00	COVER SHEET
00.1	GENERAL NOTES
01.0	SLAB INTERFACE PLAN "A"
02.0	FIRST FLOOR PLAN W/ NOTES "A"
02.1	FIRST FLOOR PLAN W/ DIMENSIONS "A"
03.0	SECOND FLOOR PLAN W/ NOTES "A"
03.1	SECOND FLOOR PLAN W/ DIMS "A"
04.0A	EXTERIOR ELEVS.- FRONT/ REAR "A"
04.1A	EXTERIOR ELEVS.- LEFT/ RIGHT "A"
05.0	ROOF PLAN
06.0	STAIR & BUILDING SECTION
E1	FIRST FLOOR UTILITY PLAN "A"
E2	SECOND FLOOR UTILITY PLAN "A"
AD1	DETAILS
AD2	DETAILS
S1	FOUNDATION PLAN "A"
S2	PRECAST LINTEL LAYOUT "A"
S3.A	FIRST FLOOR TRUSS LAYOUT "A"
S4.A	SECOND FLOOR TRUSS LAYOUT "A"
D1	TYPICAL DETAILS
D2	TYP. DETAILS/ CONNECTOR SCHEDULE
D3	TYPICAL STRUCTURAL DETAILS
D4	TYPICAL STRUCTURAL DETAILS
D5	TYPICAL STRUCTURAL DETAILS
D6	TYPICAL STRUCTURAL DETAILS
D7	TYPICAL STRUCTURAL DETAILS
D8	TYPICAL STRUCTURAL DETAILS
D9	TYPICAL STRUCTURAL DETAILS

SHEET INDEX:	
00	COVER SHEET
00.1	GENERAL NOTES
01.0	SLAB INTERFACE PLAN "B"
02.0	FIRST FLOOR PLAN W/ NOTES "B"
02.1	FIRST FLOOR PLAN W/ DIMENSIONS "B"
03.0	SECOND FLOOR PLAN W/ NOTES "B"
03.1	SECOND FLOOR PLAN W/ DIMS "B"
04.0B	EXTERIOR ELEVS.- FRONT/ REAR "B"
04.1B	EXTERIOR ELEVS.- LEFT/ RIGHT "B"
05.0	ROOF PLAN
06.0	STAIR & BUILDING SECTION
E1	FIRST FLOOR UTILITY PLAN "B"
E2	SECOND FLOOR UTILITY PLAN "B"
AD1	DETAILS
AD2	DETAILS
S1	FOUNDATION PLAN "B"
S2	PRECAST LINTEL LAYOUT "B"
S3.B	FIRST FLOOR TRUSS LAYOUT "B"
S4.B	SECOND FLOOR TRUSS LAYOUT "B"
D1	TYPICAL DETAILS
D2	TYP. DETAILS/ CONNECTOR SCHEDULE
D3	TYPICAL STRUCTURAL DETAILS
D4	TYPICAL STRUCTURAL DETAILS
D5	TYPICAL STRUCTURAL DETAILS
D6	TYPICAL STRUCTURAL DETAILS
D7	TYPICAL STRUCTURAL DETAILS
D8	TYPICAL STRUCTURAL DETAILS
D9	TYPICAL STRUCTURAL DETAILS

SHEET INDEX:	
00	COVER SHEET
00.1	GENERAL NOTES
01.0	SLAB INTERFACE PLAN "C"
02.0	FIRST FLOOR PLAN W/ NOTES "C"
02.1	FIRST FLOOR PLAN W/ DIMENSIONS "C"
03.0	SECOND FLOOR PLAN W/ NOTES "C"
03.1	SECOND FLOOR PLAN W/ DIMS "C"
04.0C	EXTERIOR ELEVS.- FRONT/ REAR "C"
04.1C	EXTERIOR ELEVS.- LEFT/ RIGHT "C"
05.0	ROOF PLAN
06.0	STAIR & BUILDING SECTION
E1	FIRST FLOOR UTILITY PLAN "C"
E2	SECOND FLOOR UTILITY PLAN "C"
AD1	DETAILS
AD2	DETAILS
S1	FOUNDATION PLAN "C"
S2	PRECAST LINTEL LAYOUT "C"
S3.C	FIRST FLOOR TRUSS LAYOUT "C"
S4.C	SECOND FLOOR TRUSS LAYOUT "C"
D1	TYPICAL DETAILS
D2	TYP. DETAILS/ CONNECTOR SCHEDULE
D3	TYPICAL STRUCTURAL DETAILS
D4	TYPICAL STRUCTURAL DETAILS
D5	TYPICAL STRUCTURAL DETAILS
D6	TYPICAL STRUCTURAL DETAILS
D7	TYPICAL STRUCTURAL DETAILS
D8	TYPICAL STRUCTURAL DETAILS
D9	TYPICAL STRUCTURAL DETAILS

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LOT: 0000, COMMUNITY

2980 KINGSLEY
FLORIDA SERIES

COVER SHEET

REVISIONS

DELTA #	DATE
DATE:	11-18-25
SCALE:	AS NOTED
DRAWN:	M.R.
SHEET:	00

TEG

THOMPSON ENGINEERING GROUP, INC.

4441 Vineland Road Suite A6 Orlando, FL 32811

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Fax: (407) 734-1780

www.tegfl.com

A DIVISION OF PARK SQUARE ENTERPRISES, INC.

5200 Vineland Road, Suite 200

Orlando, Florida 32811

Phone: (407) 529 - 3000



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Orlando, Florida 32811
Phone: (407) 529 - 3000

1 Park Square HOMES

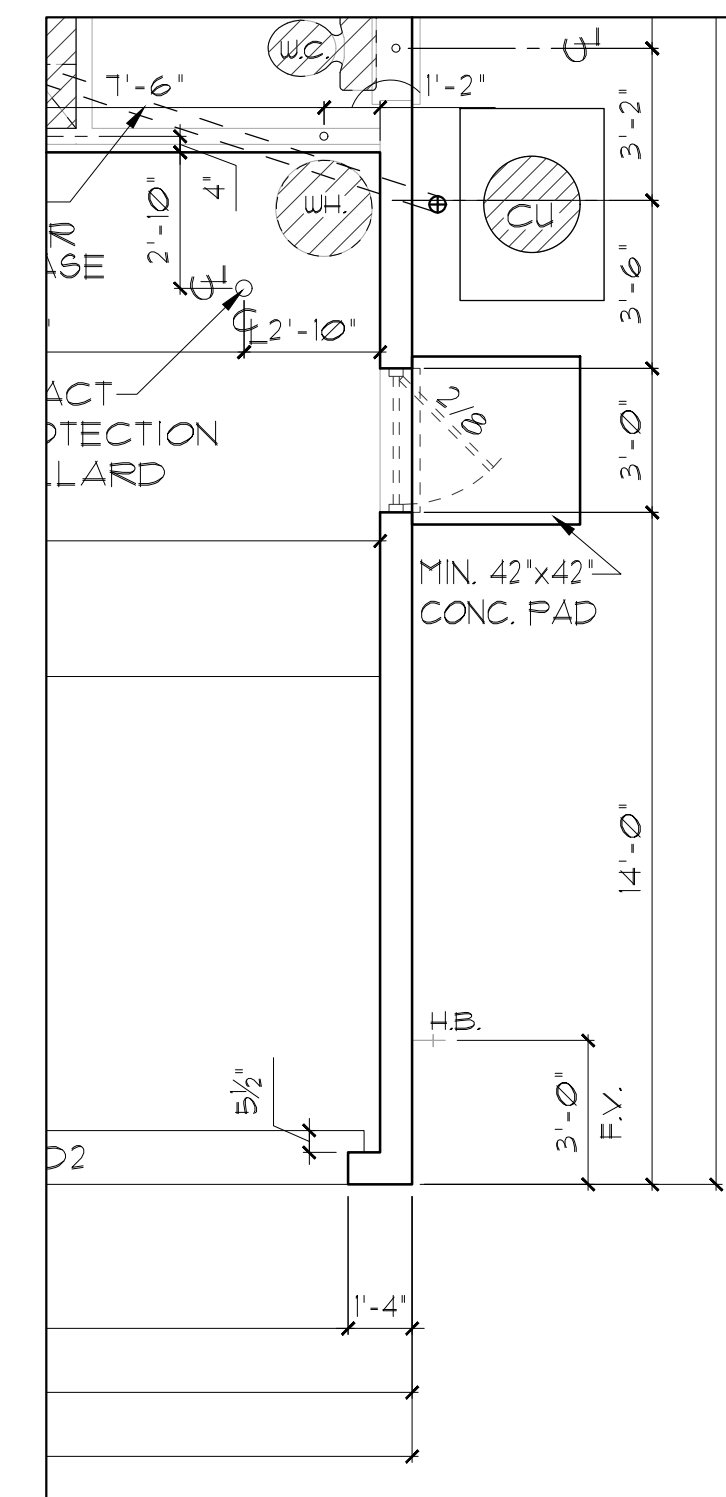
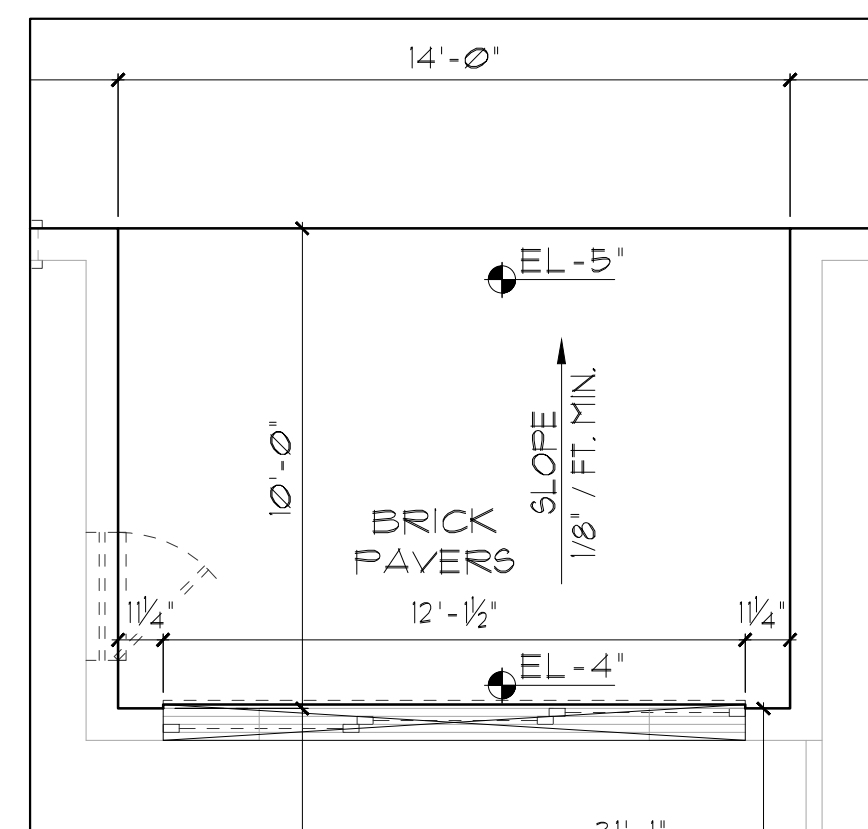
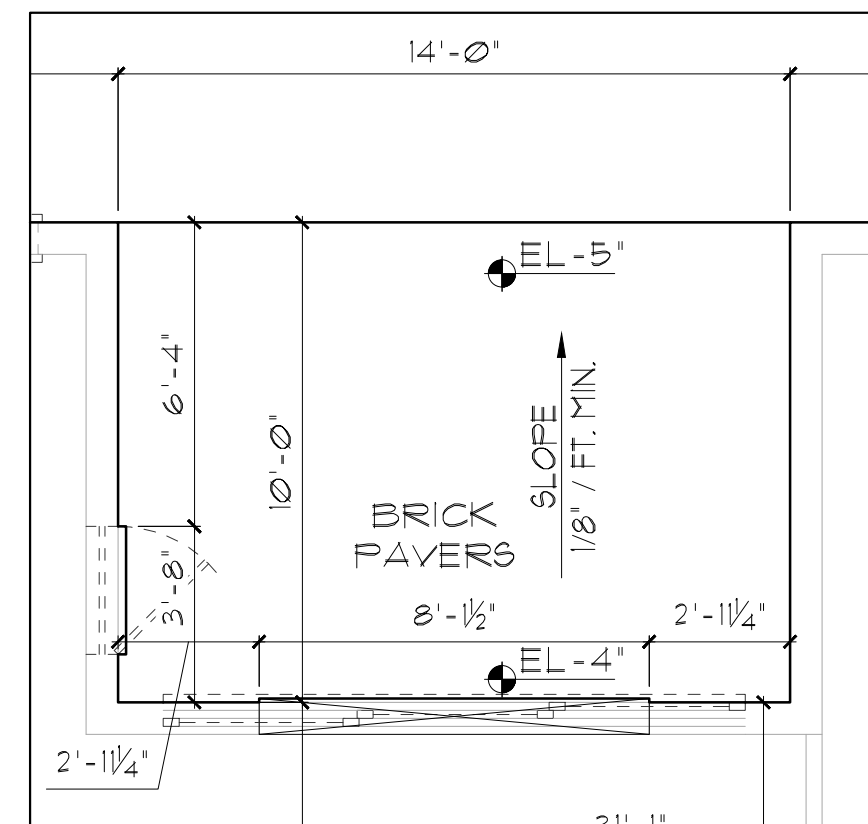
SLAB INTERFACE PLAN

2980 KINGSLEY FLORIDA SERIES

REVISIONS	
DELTA δ	DATE
DATE: 11-18-	
SCALE: AS NOTE	
DRAWN: M	
SHEET:	

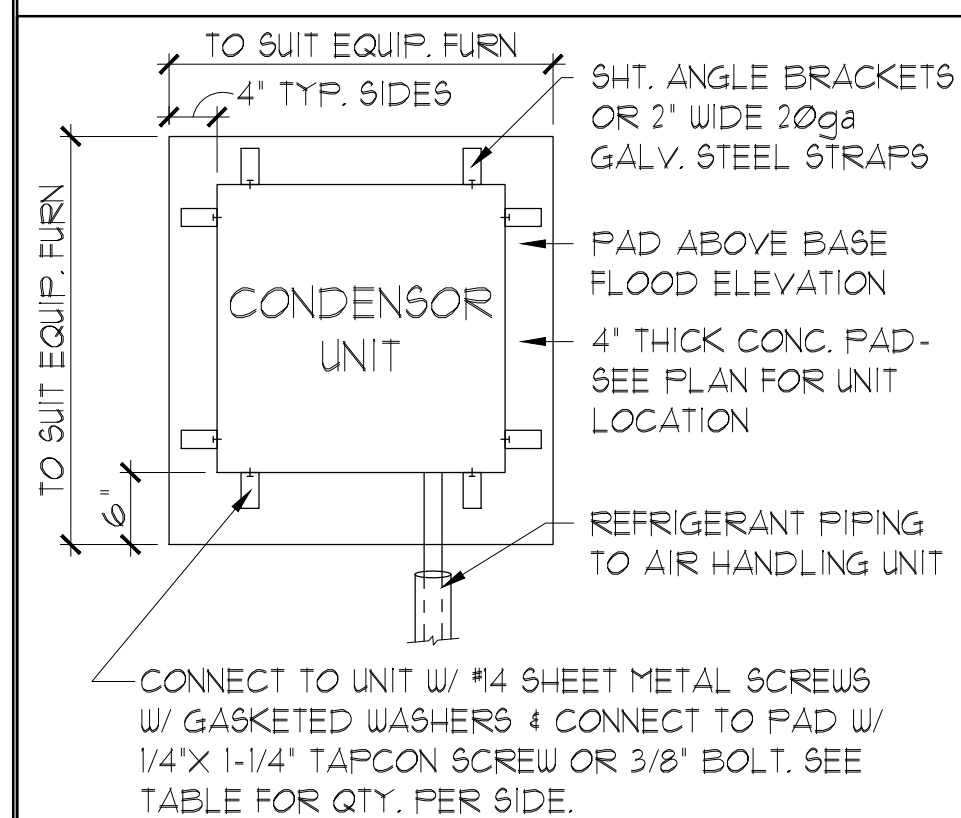
01.0

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FOUNDATION NOTES

1. CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPER-VISOR FOR CLARIFICATION.
3. WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR. WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE.
4. PAVERS MAY BE USED I.L.O. CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED. VERIFY W/ COMMUNITY SPECIFICATIONS.
5. MECHANICAL EQUIP. LOCATIONS TO BE FIELD VERIFIED & MAY BE DEPENDANT UPON COMMUNITY AND MUNICIPALITY CODES.
6. IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITES TREATED SOIL CAN BE TERMICIDE.
7. BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO FBC-R- CURRENT EDITION.



ANCHOR SPACING TABLE	
LENGTH / SIDE	NO. OF ANCHOR/SIDES
LESS THAN 12'	ONE / SIDE
12" - 24'	TWO / SIDE
24" - 36'	THREE / SIDE
36" UP & 5tons & UP	FOUR / SIDE

COND. ANCHOR DET.
N.T.S.

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2980 KINGSLEY

FLORIDA SERIES

SLAB INTERFACE PLAN

Park Square HOMES
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SLAB INTERFACE PLAN

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

REVISIONS

DELTA # | DATE

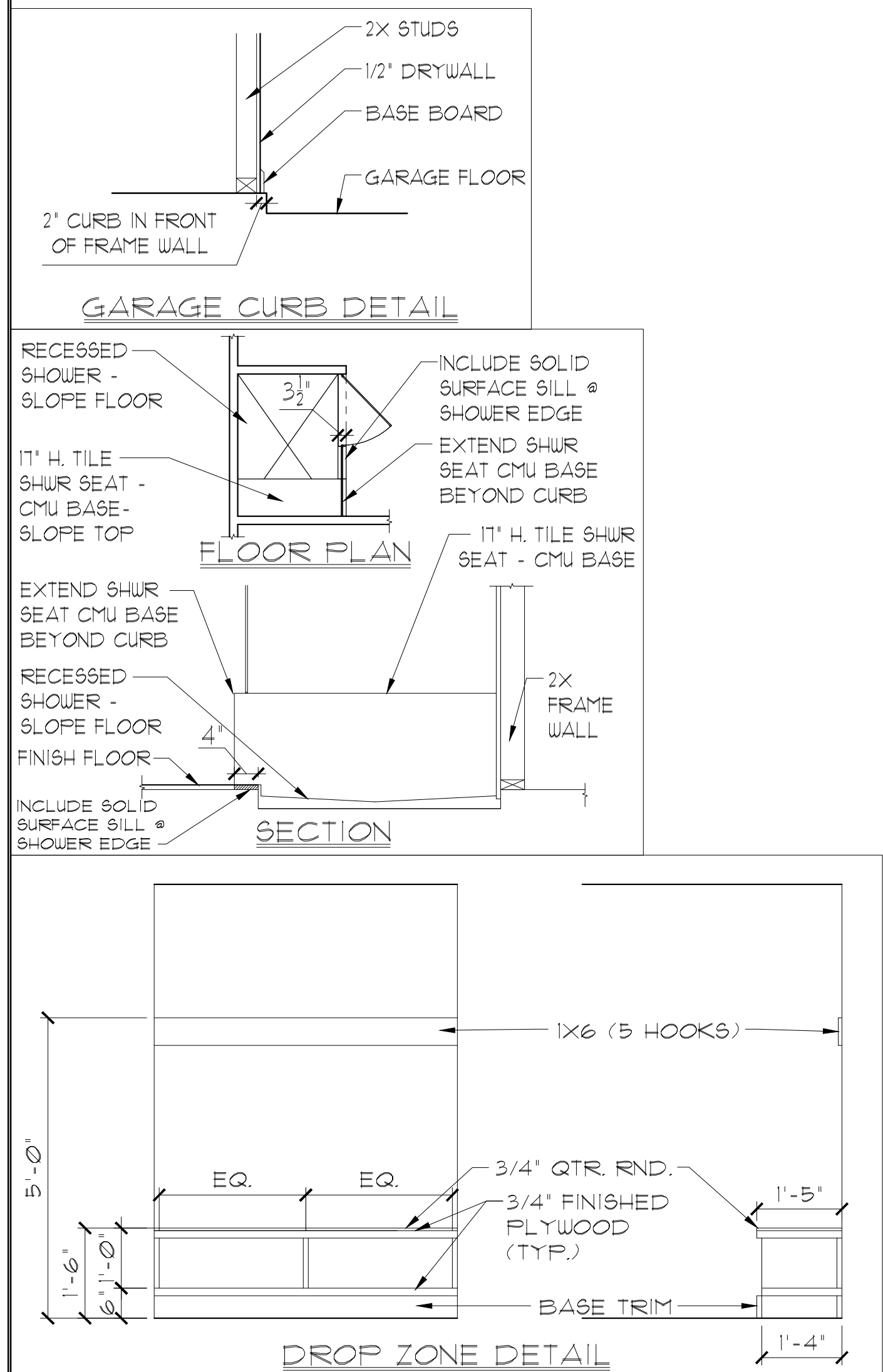
DATE: 11-18-25

SCALE: AS NOTED

DRAIN. ME

SHEET:

01.0



AREA CALCULATIONS	
LIVING:	
FIRST FLOOR -----	1,676 SF.
SECOND FLOOR -----	1,304 SF.
TOTAL LIVING-----	2,980 SF.
GARAGE-----	604 SF.
ENTRY-----	83 SF.
LANAI -----	140 SF.
TOTAL UNDER ROOF	3,807 SF.

ELEVATION A,B,C STD
FIRST FLOOR PLAN
W/ NOTES
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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Park Square HOMES

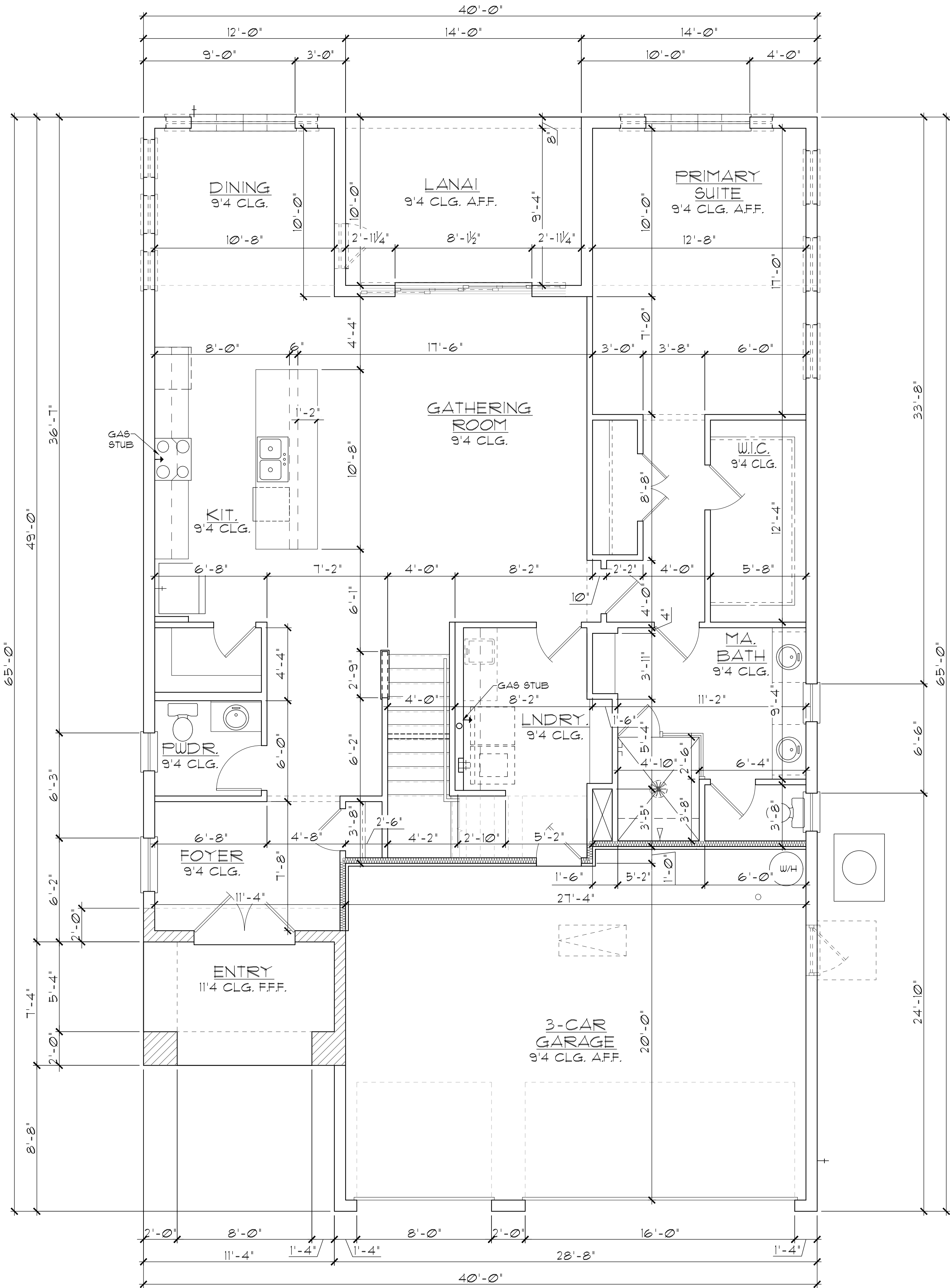
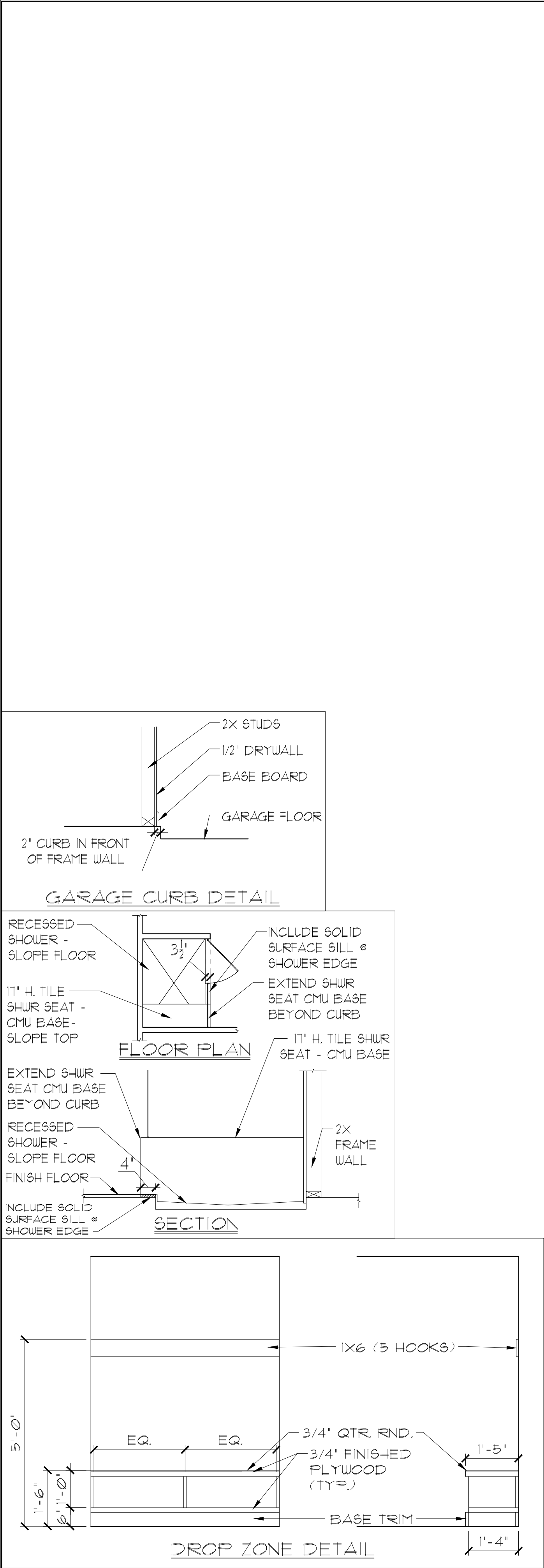
FIRST FLOOR PLAN
W/ NOTES

2980 KINGSLEY

FLORIDA SERIES

REVISIONS

DELTA Δ	DATE
DATE:	11-18-25
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DRAWN:	MR
SHEET:	02.0



GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3-1/2" UNLESS NOTED OTHERWISE.
- ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7-5/8" UNLESS NOTED OTHERWISE.
- DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20 MIN. FIRE RATED (AW R302.5).
- GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GAR. SIDE. PROVIDE 5/8" TYPE 'X' GYP. BD. AT CEILING ONLY APPLIED PERPENDICULAR TO CEILING FRAME.
- PULL ALL DIMENSIONS FROM THE REAR OF THE PLAN.
- SEE GENERAL NOTES PAGE FOR ADDITIONAL INFO.

WALL LEGEND

FIRST FLOOR

- [Solid Line] DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF.
- [Hatched Line] DENOTES CONC. BLOCK WALL HGT. @ 11'-4" AFF.
- [Cross-hatched Line] DENOTES 2x INSULATED FRAME WALL

SECOND FLOOR

- [Dashed Line] DENOTES 2ND FLR FRAME WALL HGT. @ 9'-0" AFF.

NOTE: SEE COLOR SHEET FOR FLOORING & INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS	
LIVING:	
FIRST FLOOR	1,676 SF.
SECOND FLOOR	1,304 SF.
TOTAL LIVING	2,980 SF.
GARAGE	604 SF.
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ELEVATION A,B,C STD
FIRST FLOOR PLAN
W/ DIMENSIONS
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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FLORIDA SERIES

FIRST FLOOR PLAN W/ DIMENSIONS

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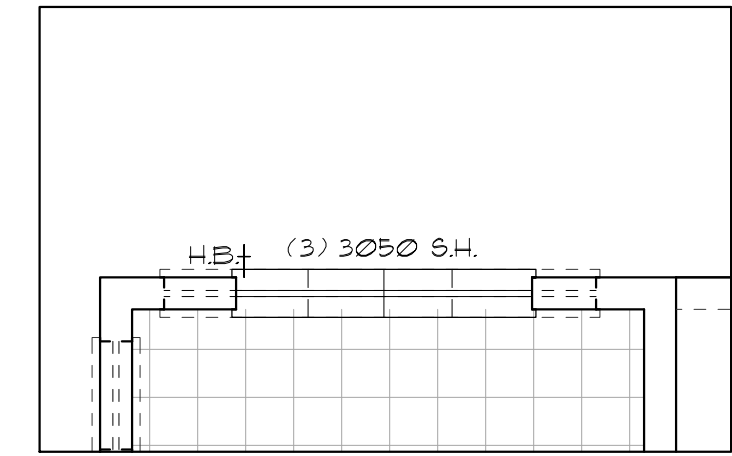
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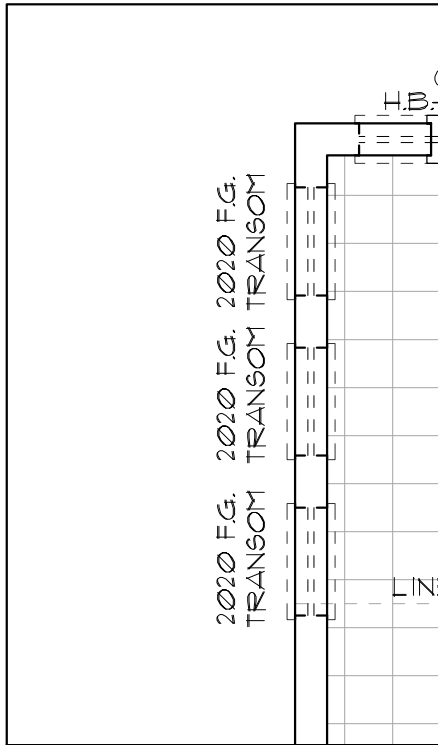
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Park Square HOMES

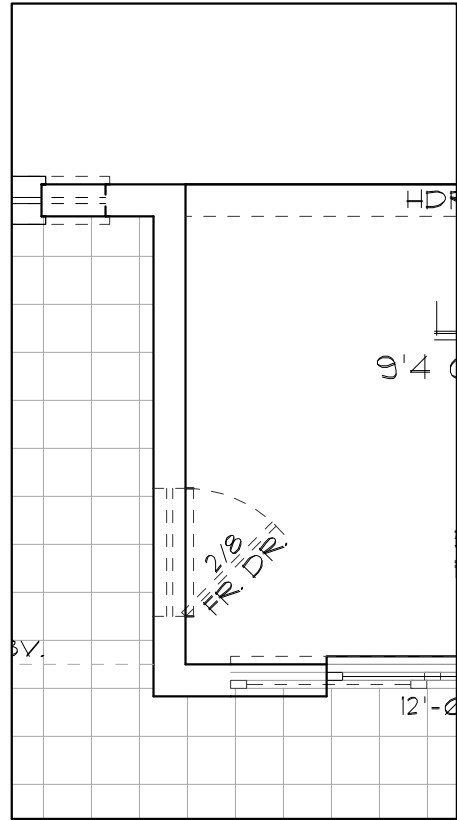
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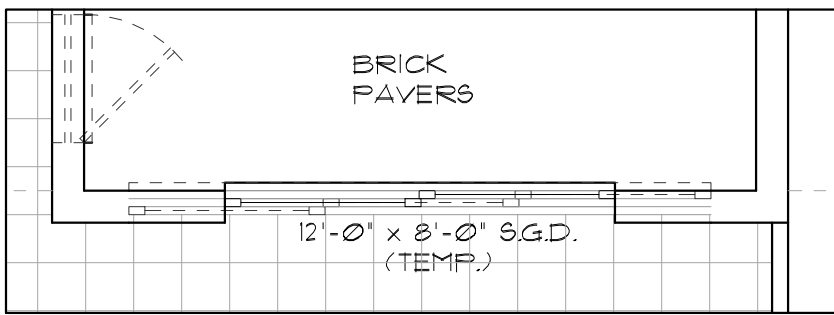
OPT. TRIPLE
WINDOWS @ DINING



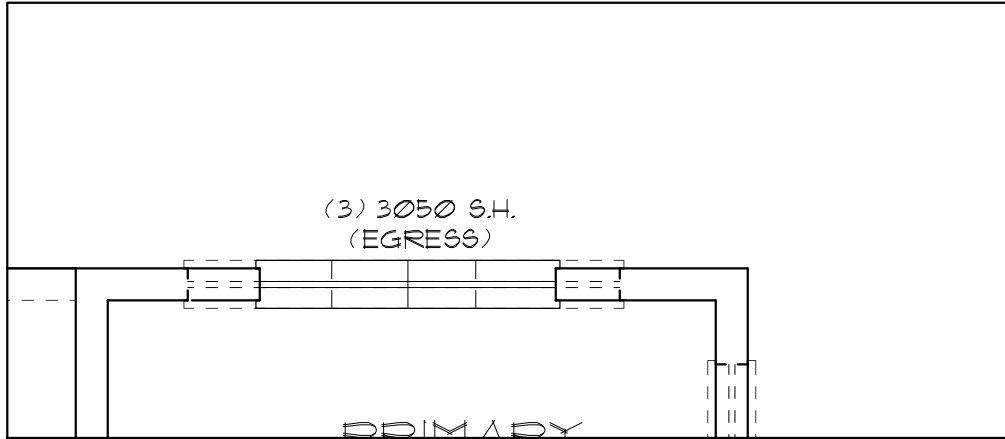
OPT. TRANSOM
WINDOWS @ DINING



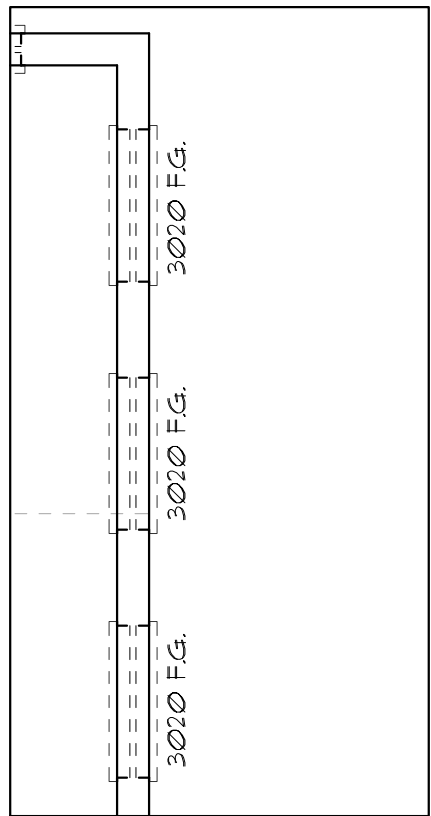
OPT. FRENCH
DOOR @ DINING



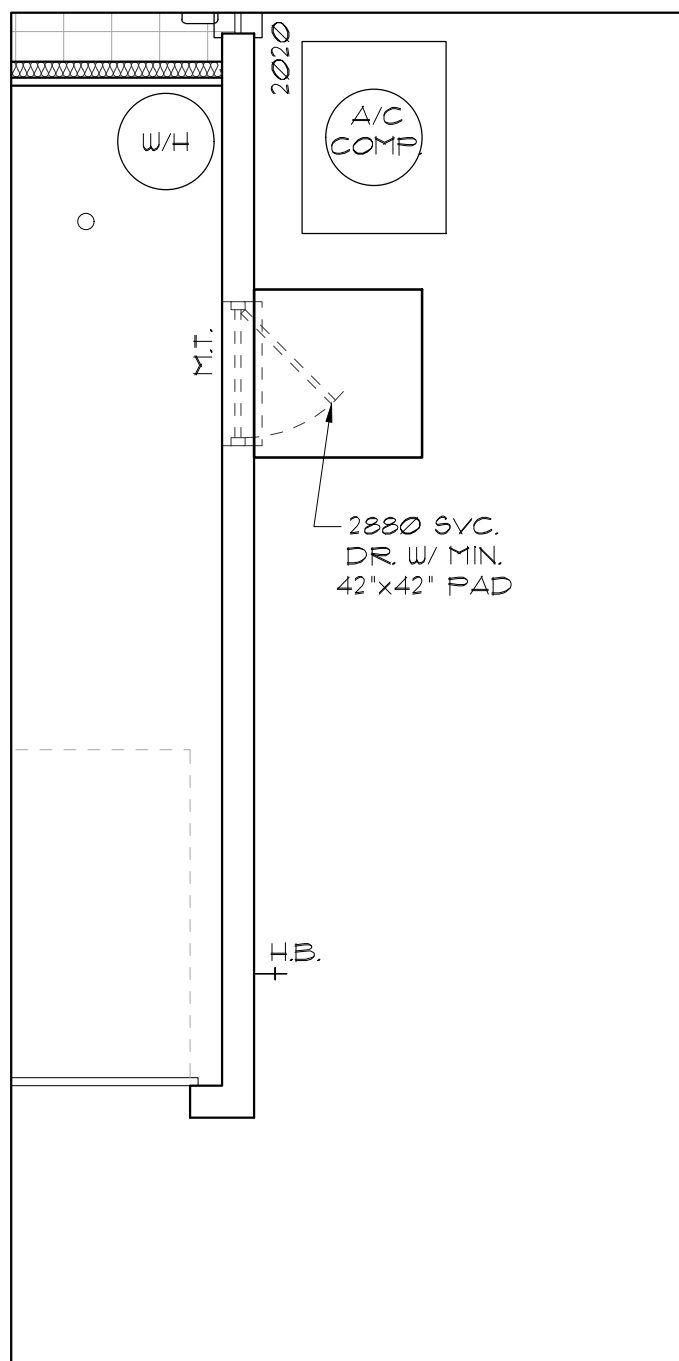
OPT. 12'-0" SGD



OPT. TRIPLE
WINDOWS @
MASTER SUITE



OPT. F.G. WINDOWS
@ MASTER SUITE



OPT. GARAGE SERVICE DOOR

GENERAL NOTES

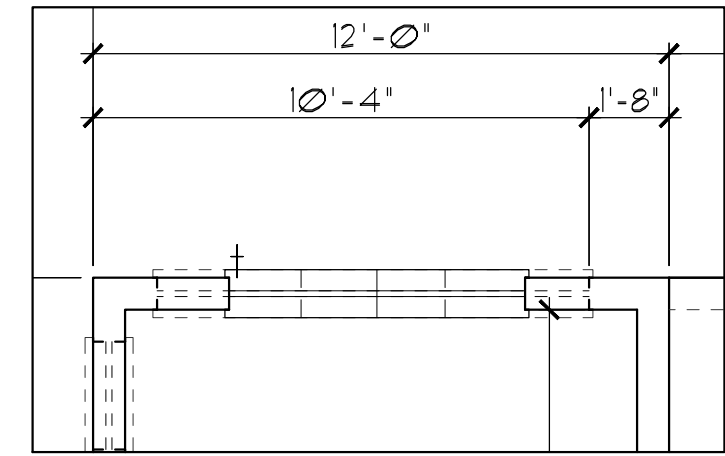
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3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3-1/2" UNLESS NOTED OTHERWISE.
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7. PULL ALL DIMENSIONS FROM THE REAR OF THE PLAN
8. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFO.

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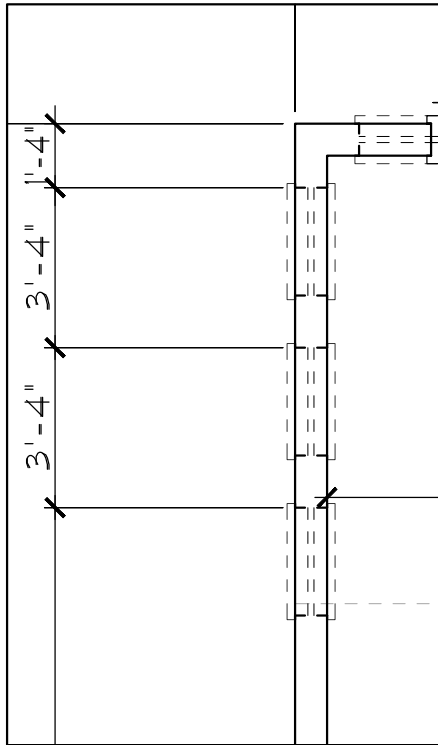
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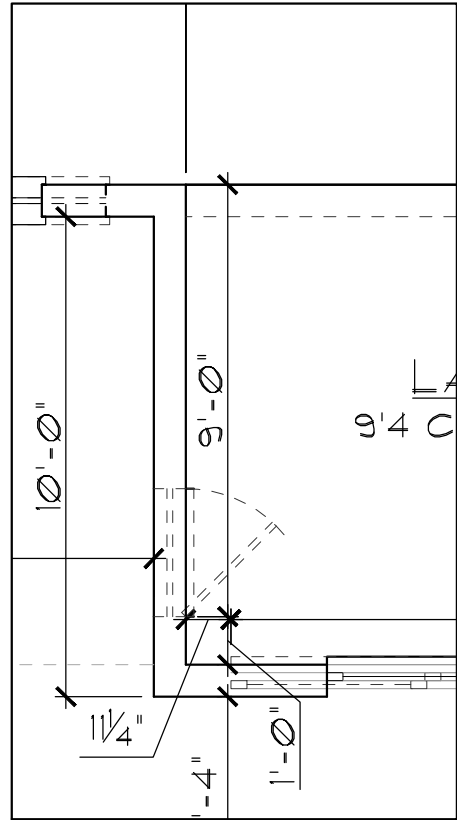
2980 KINGSLEY	FIRST FLOOR PLAN		PARK SQUARE HOMES
	W/ NOTES		
2980 KINGSLEY		A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida 32811 Phone: (407) 629 - 3000	
FLORIDA SERIES		ITEG THOMPSON ENGINEERING GROUP, INC. 4441 Vineland Road Suite 40 Orlando, FL 32811 Tel: (407) 734-1700 Fax: (407) 734-1700 www.iteg.com	
REVISIONS			
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DRAWN:	MR		
SHEET:	02.0		



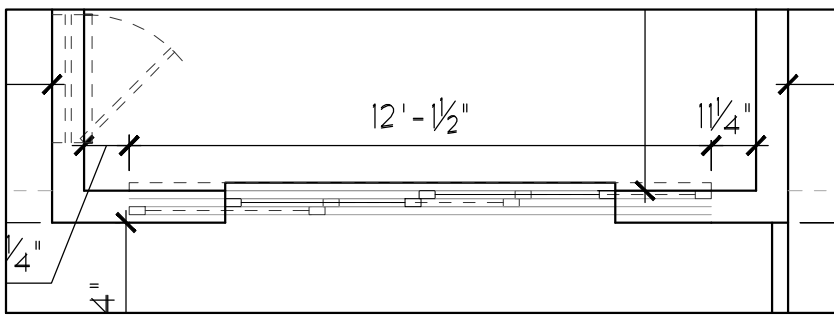
OPT. TRIPLE
WINDOWS @ DINING



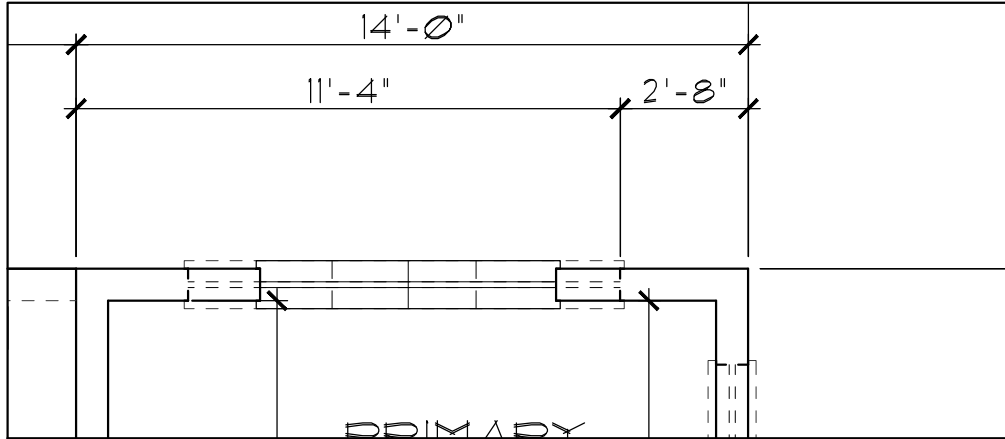
OPT. TRANSOM
WINDOWS @ DINING



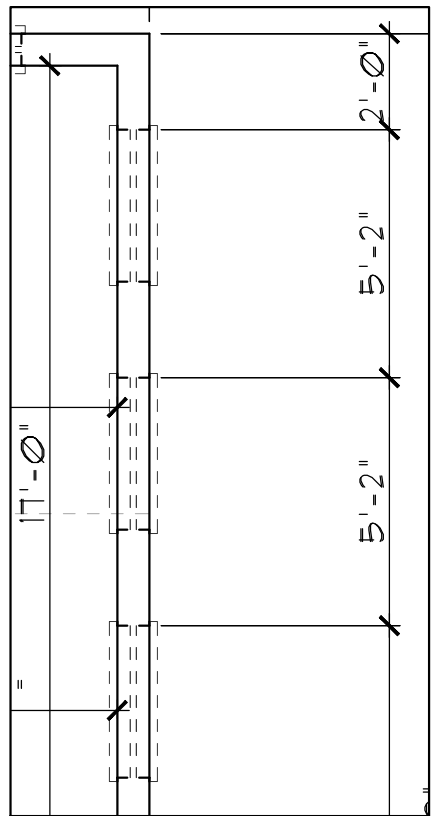
OPT. FRENCH
DOOR @ DINING



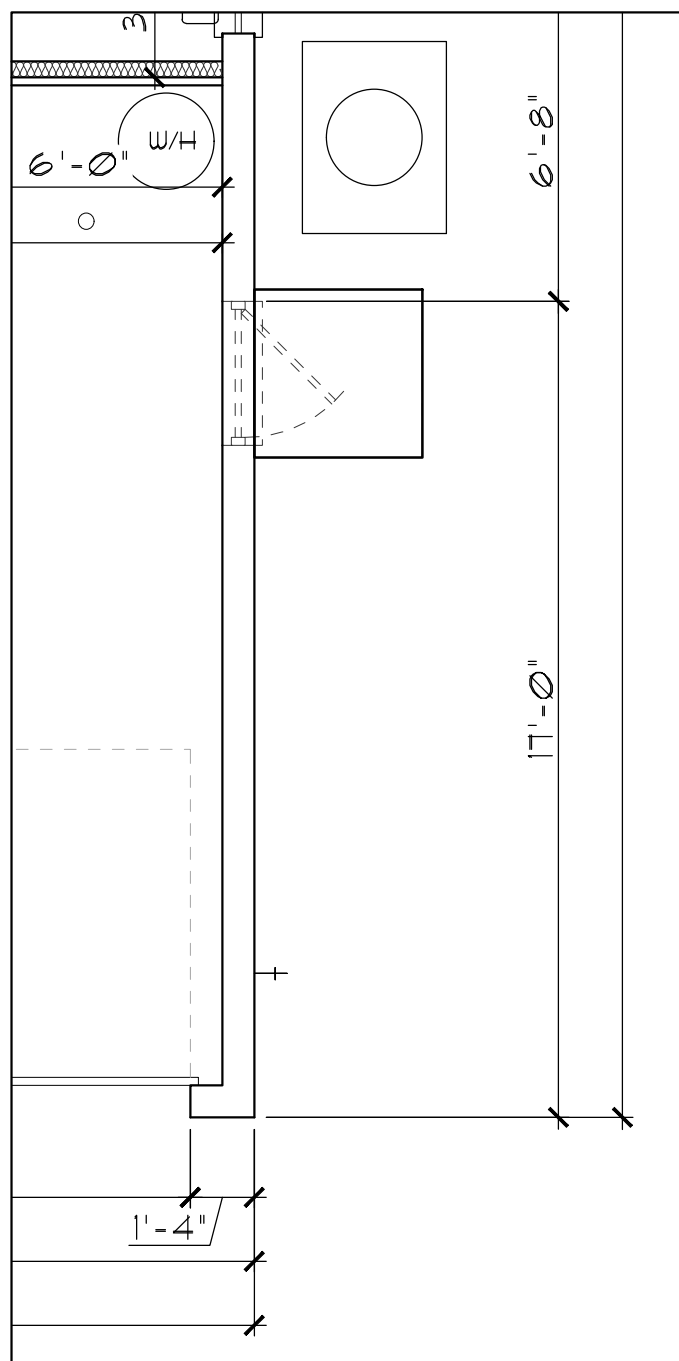
OPT. 12'-0" SGD



OPT. TRIPLE
WINDOWS @
MASTER SUITE



OPT. F.G. WINDOWS
@ MASTER SUITE



OPT. GARAGE SERVICE DOOR

GENERAL NOTES

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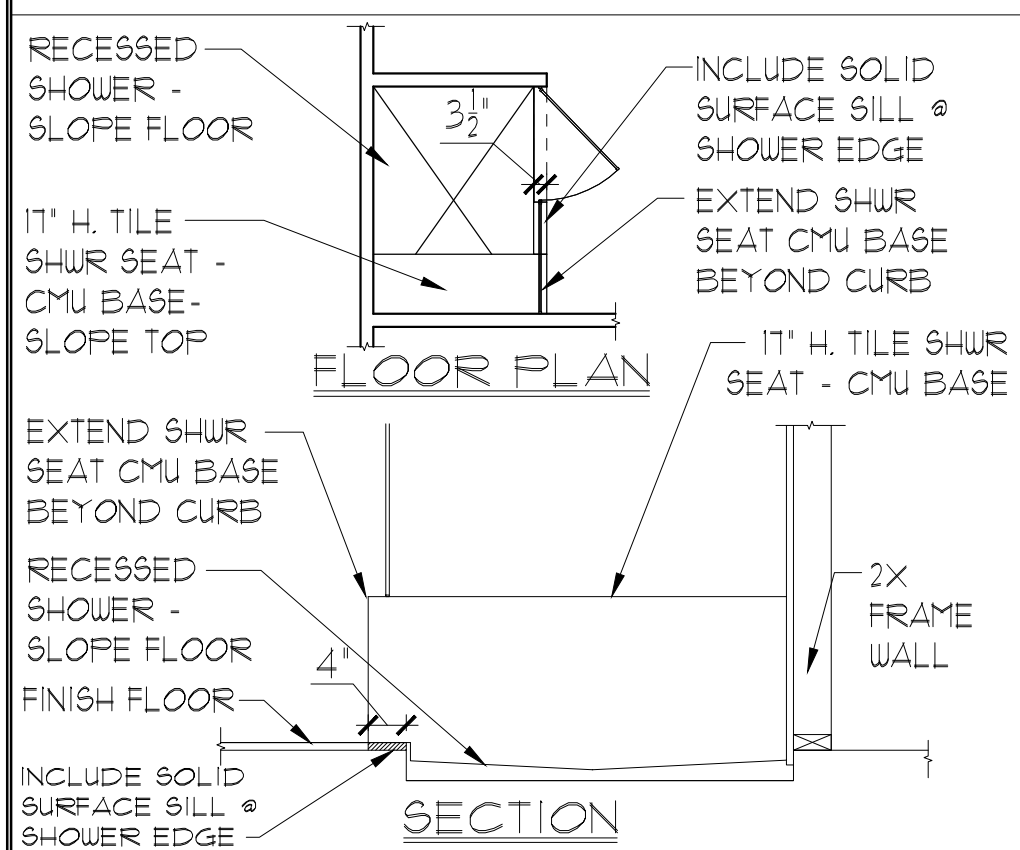
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REVISIONS	
DELTA #	DATE
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DRAWN:	MR
SHEET:	02.1

OPTIONS
FIRST FLOOR PLAN
W/ DIMENSIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



GENERAL NOTES

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WALL LEGEND

FIRST FLOOR

	DENOTES CONC. BLOCK WALL HGT. @ 9'-4" A.F.F.
	DENOTES CONC. BLOCK WALL HGT. @ <u>11'-4" A.F.F.</u>
	DENOTES 2x INSULATED FRAME WALL

SECOND FLOOR


 DENOTES 2ND FLR FRAM.
 WALL HGT. @ 9'-0" AFF.

NOTE: SEE COLOR SHEET FOR FLOORING &
INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS

LIVING:	
FIRST FLOOR	1,676 SF.
SECOND FLOOR	1,304 SF.
TOTAL LIVING	2,980 SF.
GARAGE	604 SF.
ENTRY	83
LANAI	140 SF.
TOTAL UNDER ROOF	3,807 SF.

ELEVATION A STD
SECOND FLOOR PLAN
W/ NOTES

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE-RESIDENTIAL AND IS CERTIFIED AS SUCH

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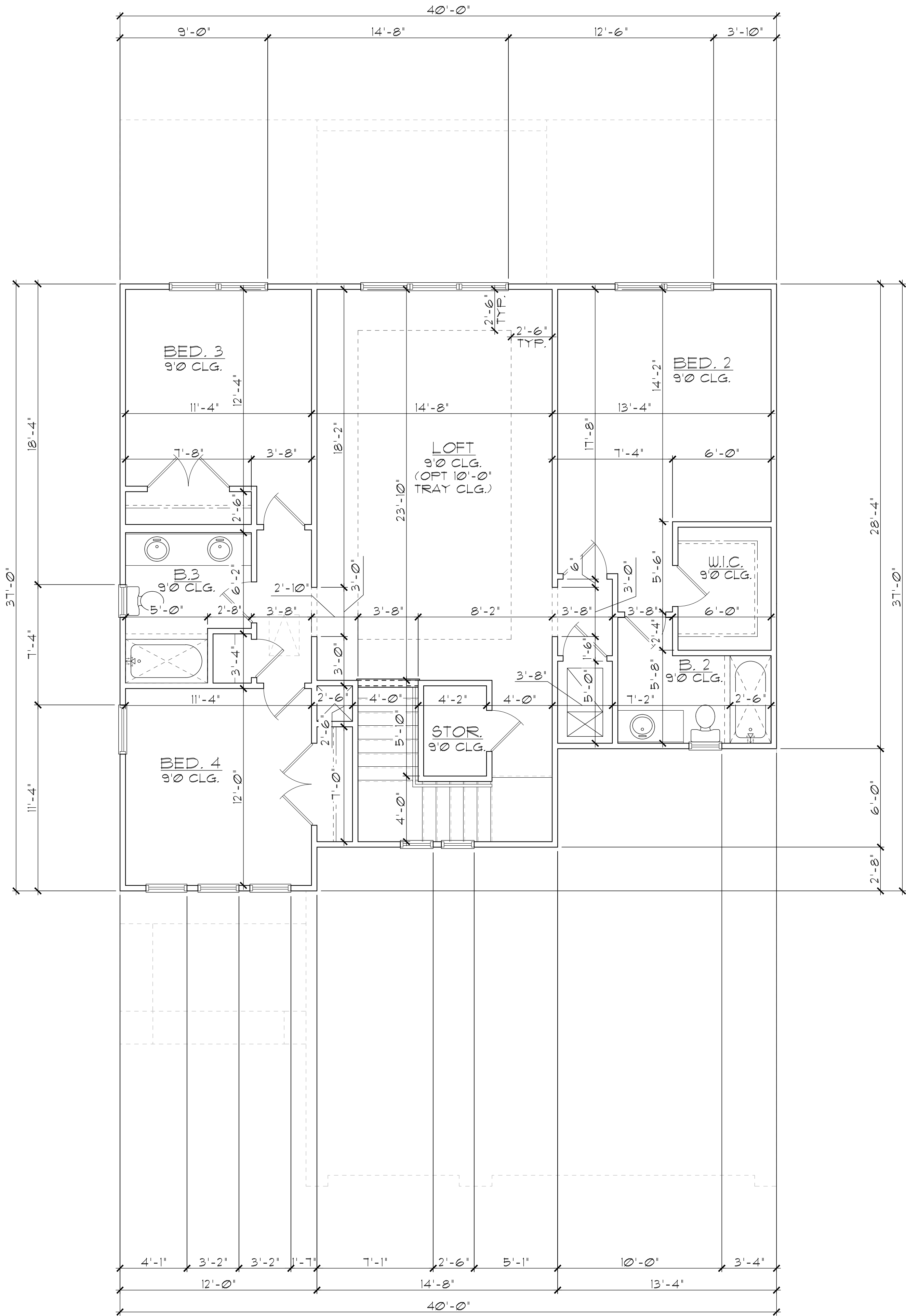
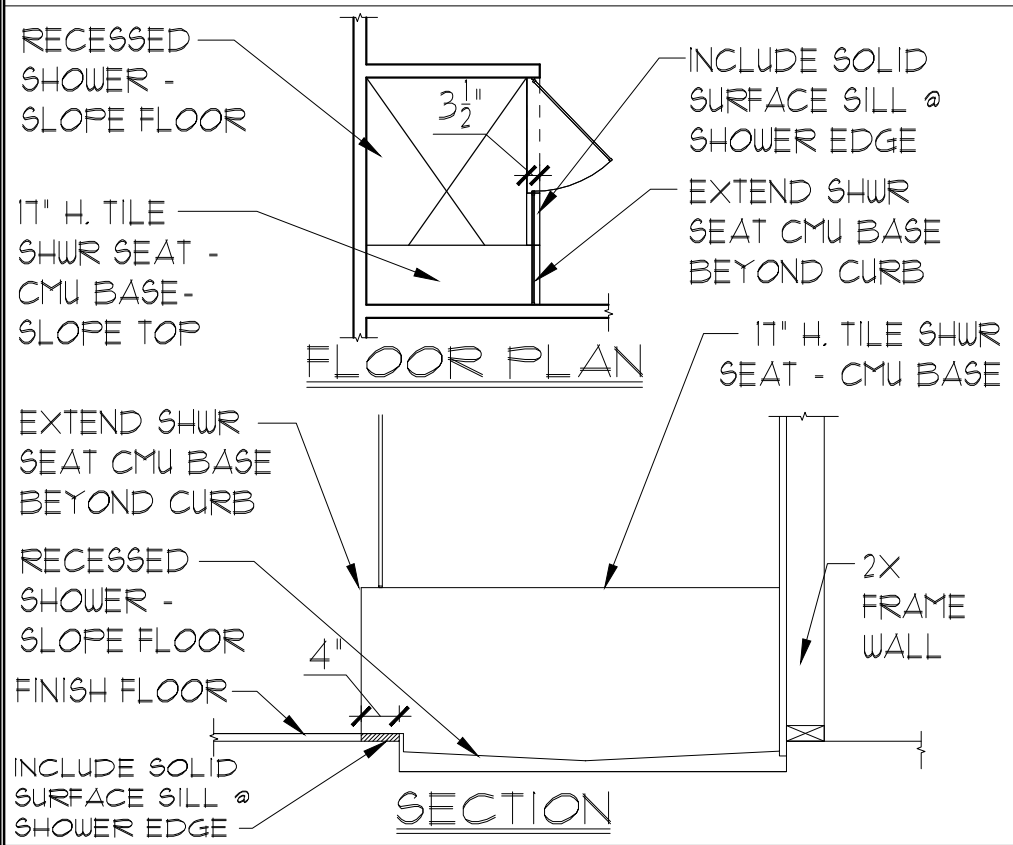
FLORIDA SERIES

SECOND FLOOR PLAN W/ NOTES

Park Square HOMES

A DIVISION OF PARK SQUARE
ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000





GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.

2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.

3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3'-1/2" UNLESS NOTED OTHERWISE.

4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1'-5/8" UNLESS NOTED OTHERWISE.

5. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20 MIN. FIRE RATED [AW R302.5.]

6. GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GAR. SIDE. PROVIDE 5/8" TYPE 'X' GYP. BD. AT CEILING ONLY APPLIED PERPENDICULAR TO CEILING FRAME.

7. PULL ALL DIMENSIONS FROM THE REAR OF THE PLAN

8. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFO.

WALL LEGEND

FIRST FLOOR

DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF.

DENOTES CONC. BLOCK WALL HGT. @ 11'-4" AFF.

DENOTES 2x INSULATED FRAME WALL

SECOND FLOOR

DENOTES 2ND FLR FRAME WALL HGT. @ 9'-0" AFF.

NOTE: SEE COLOR SHEET FOR FLOORING & INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS	
LIVING:	
FIRST FLOOR	1676 SF.
SECOND FLOOR	1304 SF.
TOTAL LIVING	2980 SF.
GARAGE	604 SF.
ENTRY	83 SF.
LANAI	140 SF.
TOTAL UNDER ROOF	3807 SF.

ELEVATION A STD

SECOND FLOOR PLAN

W/ DIMENSIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

DISCLAIMER: CONTRACTOR/SUB-CONTRACTOR IS RESPONSIBLE TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO COMMENCEMENT OF CONSTRUCTION. PARK SQUARE HOMES IS NOT RESPONSIBLE FOR ANY MISINTERPRETATIONS, ERRORS, OMISSIONS OR CUSTOM CHANGES MISSED AND NOT REPORTED PRIOR TO CONSTRUCTION. NO EXCEPTIONS.

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REVISIONS

DELTA #	DATE

DATE: 11-18-25

SCALE: AS NOTED

DRAWN: M/R

SHEET: 03.1

2980 KINGSLEY

FLORIDA SERIES

SECOND FLOOR PLAN

W/ DIMENSIONS

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5200 Vineland Road, Suite 200

Orlando, Florida 32811

Phone: (407) 629 - 3000

ITEG

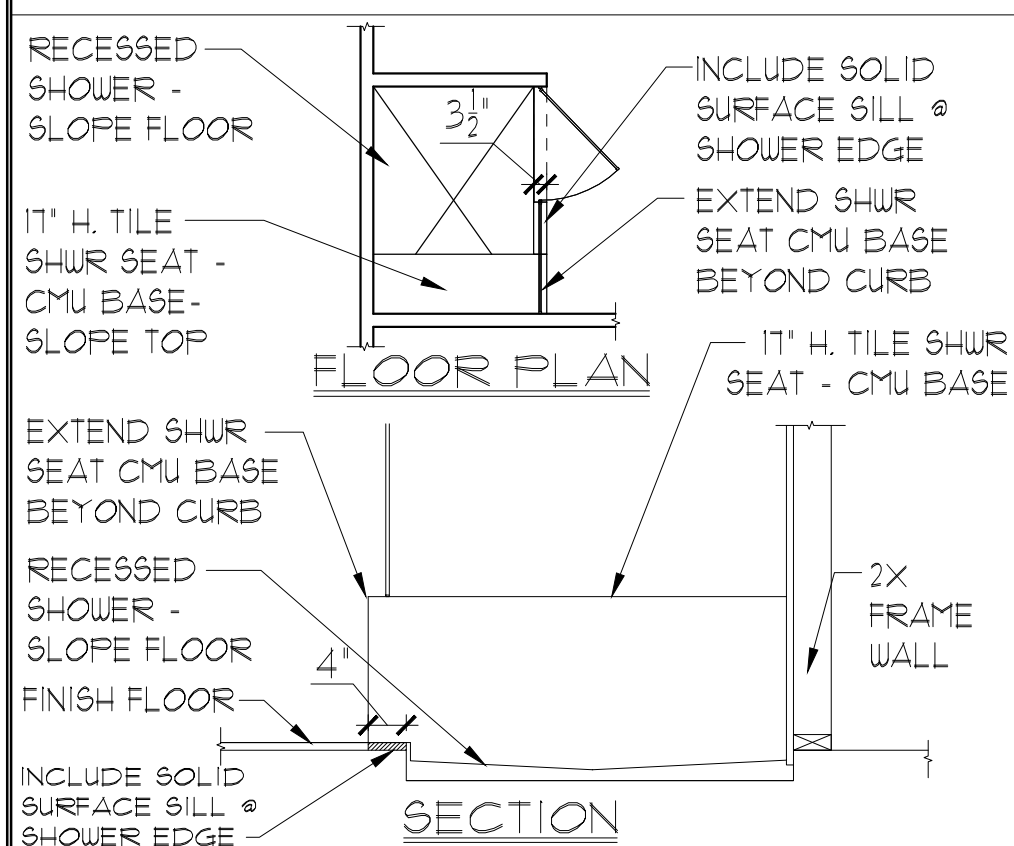
THOMPSON ENGINEERING GROUP, INC.

4441 Vineland Road Suite 40 Orlando, FL 32811

Cell: (407) 724-1700

Fax: (407) 724-1700

www.iteg.com



GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
2. ~~DO NOT SCALE PRINTS!~~ CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3'-1/2" UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7'-5/8" UNLESS NOTED OTHERWISE.
5. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20 MIN. FIRE RATED (AW R302.5).
6. GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GAR. SIDE, PROVIDE 5/8" TYPE 'X' GYP. BD. AT CEILING ONLY APPLIED PERPENDICULAR TO CEILING FRAME.
7. FILL ALL DIMENSIONS FROM THE REAR OF THE FLAN
8. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFO.

WALL LEGEND

FIRST FLOOR

	DENOTES CONC. BLOCK WALL HGT. @ 9'-4" A.F.F.
	DENOTES CONC. BLOCK WALL HGT. @ 11'-4" A.F.F.
	DENOTES 2x INSULATED FRAME WALL

SECOND FLOOR


 DENOTES 2ND FLR FRAM.
 WALL HGT. @ 9'-0" AFF.

NOTE: SEE COLOR SHEET FOR FLOORING &
INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS

LIVING:	
FIRST FLOOR	1,676 SF.
SECOND FLOOR	1,304 SF.
TOTAL LIVING:	2,980 SF.
GARAGE	604 SF.
ENTRY	83 SF.
LANAI	140 SF.
TOTAL UNDER ROOF	3,807 SF.

ELEVATION B STD
SECOND FLOOR PLAN
W/ NOTES

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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Orlando, Florida 32811
Phone: (407) 529 - 3000

Park Square HOMES

SECOND FLOOR PLAN W/ NOTES

2980 KINGSLEY

FLORIDA SERIES

REVISIONS

DELTA	DATE

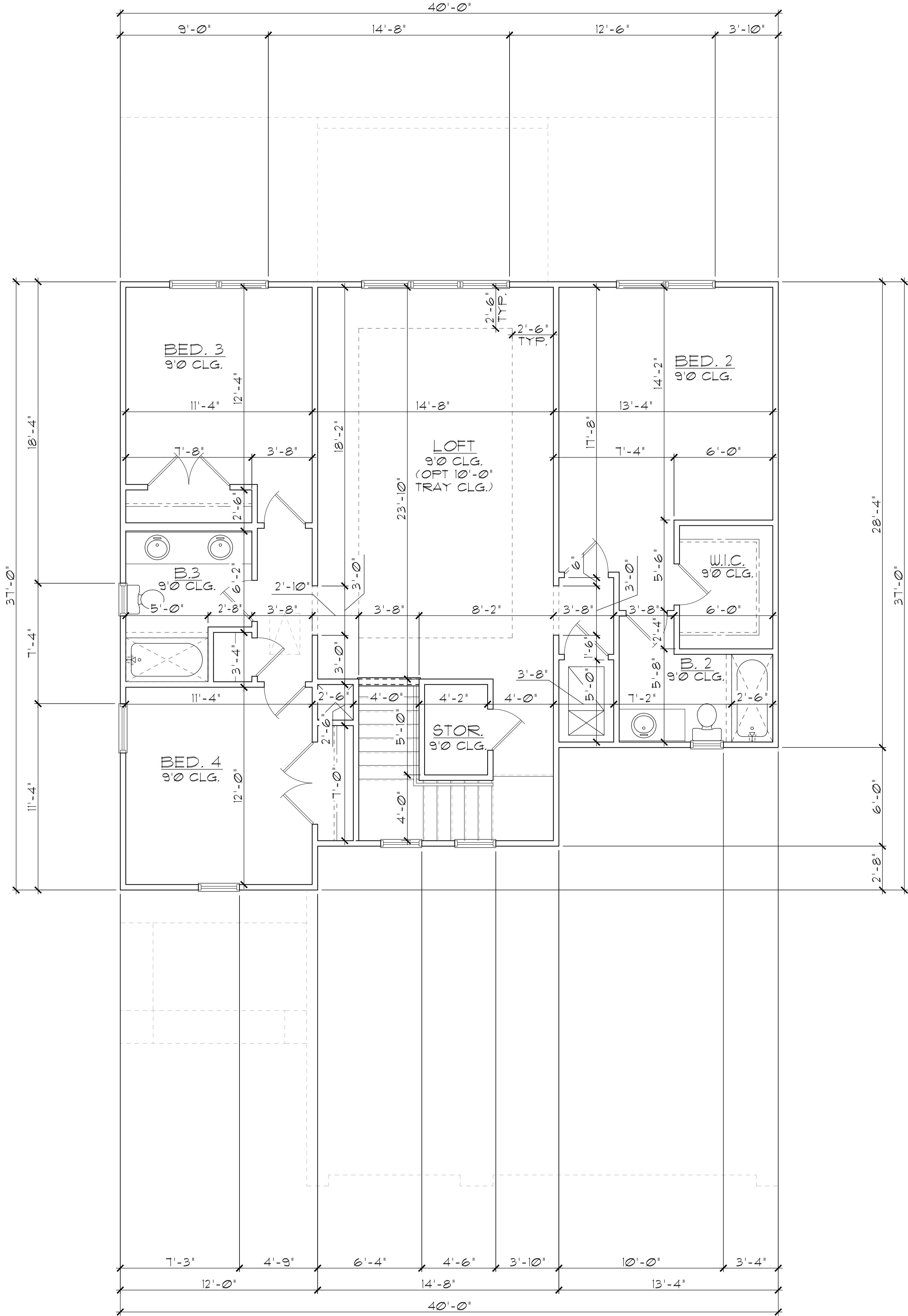
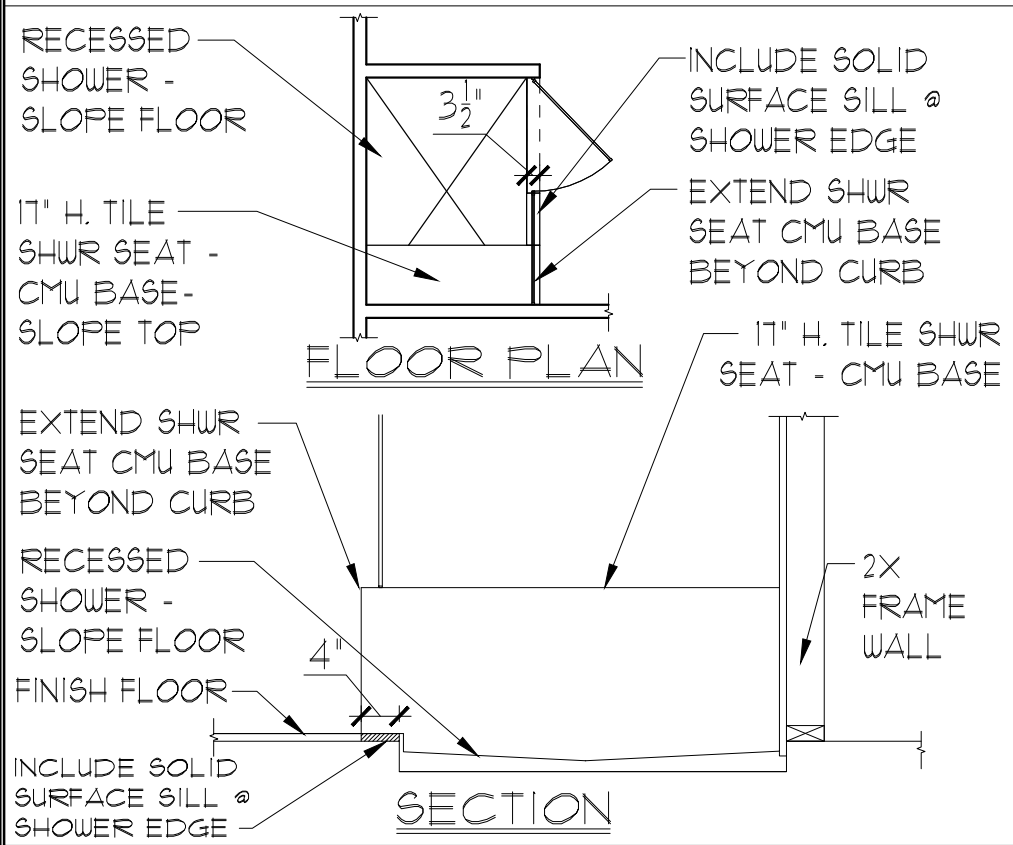
DATE: 11-18-25

SCALE: AS NOTED

DRAIN:	ME
--------	----

SHEET:

03.0



GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
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- PULL ALL DIMENSIONS FROM THE REAR OF THE PLAN
- SEE GENERAL NOTES PAGE FOR ADDITIONAL INFO.

WALL LEGEND

FIRST FLOOR

- [Symbol] DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF.
- [Symbol] DENOTES CONC. BLOCK WALL HGT. @ 11'-4" AFF.
- [Symbol] DENOTES 2x INSULATED FRAME WALL

SECOND FLOOR

- [Symbol] DENOTES 2ND FLR FRAME WALL HGT. @ 9'-0" AFF.

NOTE: SEE COLOR SHEET FOR FLOORING & INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS	
LIVING:	
FIRST FLOOR	1,676 SF.
SECOND FLOOR	1,304 SF.
TOTAL LIVING	2,980 SF.
GARAGE:	
ENTRY	83 SF.
LANAI	140 SF.
TOTAL UNDER ROOF	3,807 SF.

ELEVATION B STD

SECOND FLOOR PLAN

W/ DIMENSIONS

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DISCLAIMER: CONTRACTOR/SUB-CONTRACTOR IS RESPONSIBLE TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO COMMENCEMENT OF CONSTRUCTION. PARK SQUARE HOMES IS NOT RESPONSIBLE FOR ANY MISINTERPRETATIONS, ERRORS, OMISSIONS OR CUSTOM CHANGES MISSED AND NOT REPORTED PRIOR TO CONSTRUCTION. NO EXCEPTIONS.

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SHEET: 03.1

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SECOND FLOOR PLAN

W/ DIMENSIONS

ITEC

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407.724.1700

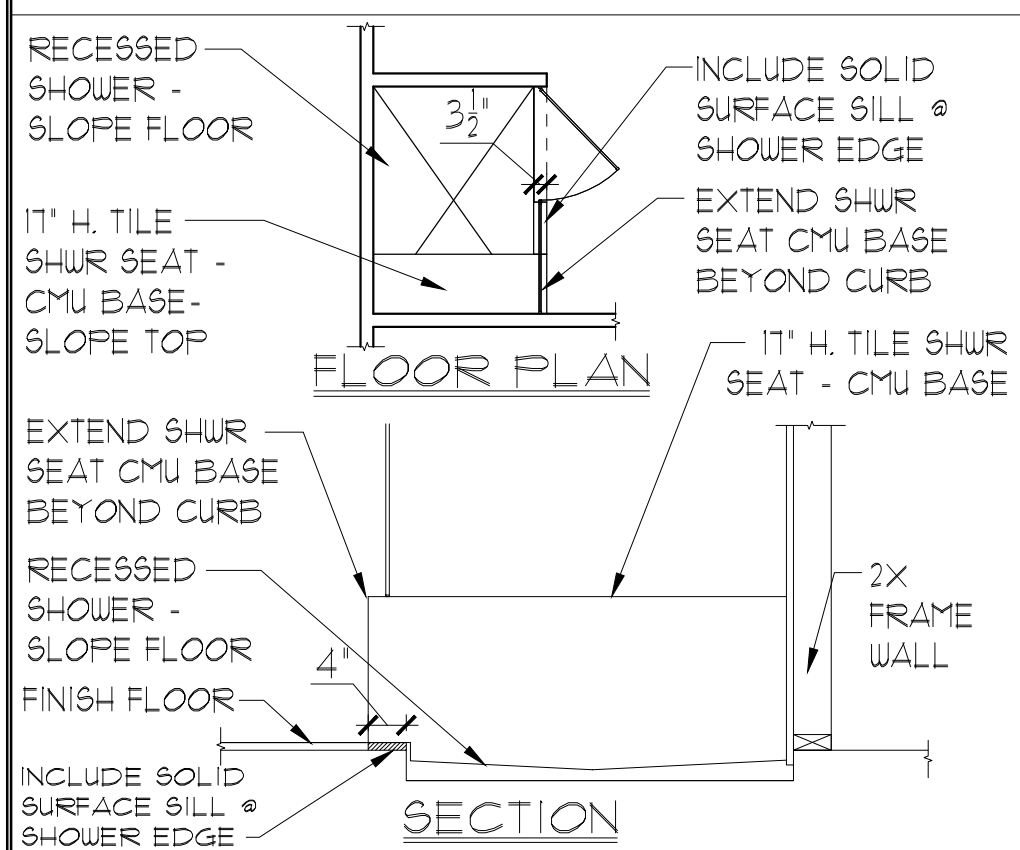
www.itec.com

Park Square HOMES

A DIVISION OF PARK SQUARE ENTERPRISES, INC.

5200 Vineland Road, Suite 200 Orlando, Florida 32811

Phone: (407) 629 - 3000



GENERAL NOTES

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7. FULL ALL DIMENSIONS FROM THE REAR OF THE FLAN
8. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFO.

WALL LEGEND

FIRST FLOOR

	DENOTES CONC. BLOCK WALL HGT. @ 9'-4" A.F.F.
	DENOTES CONC. BLOCK WALL HGT. @ <u>11'-4"</u> A.F.F.
	DENOTES 2x INSULATED FRAME WALL

SECOND FLOOR

 DENOTES 2ND FLR FRAM.
 WALL HGT. @ 9'-0" AFF.

NOTE: SEE COLOR SHEET FOR FLOORING &
INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS

LIVING:	
FIRST FLOOR -----	1,676 SF.
SECOND FLOOR -----	1,304 SF.
TOTAL LIVING -----	2,980 SF.
GARAGE -----	604 SF.
ENTRY -----	83 SF.
LANAI -----	140 SF.
TOTAL UNDER ROOF	3,801 SF.

ELEVATION C STD
SECOND FLOOR PLAN
W/ NOTES

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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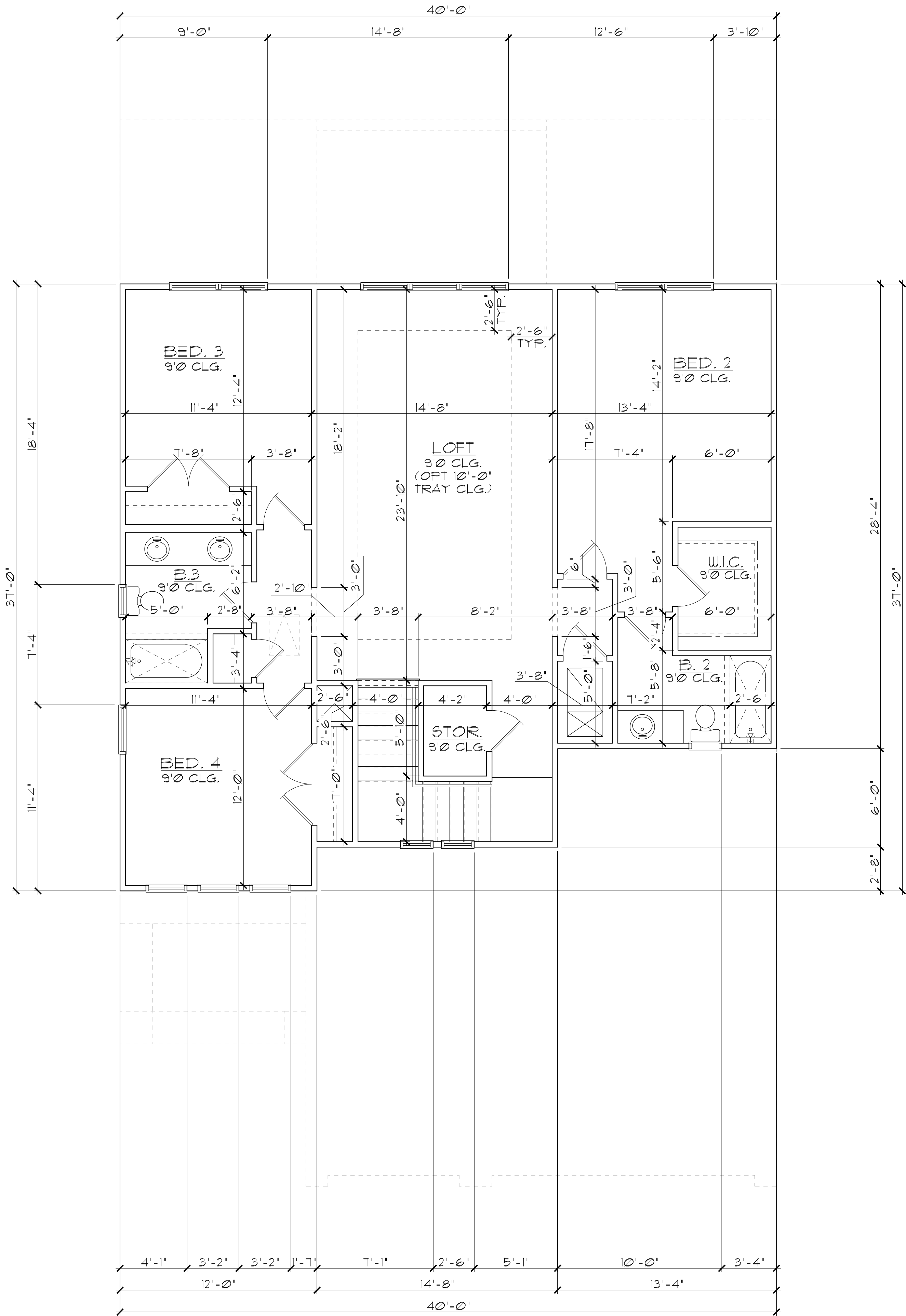
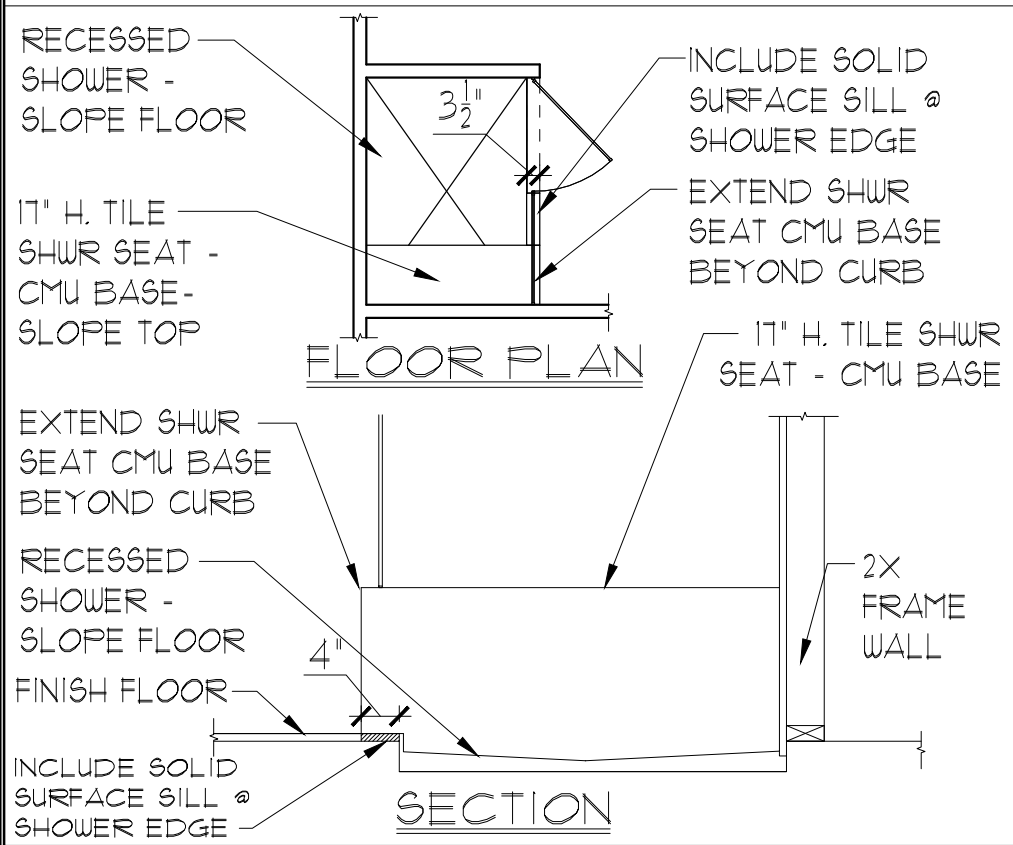
FLORIDA SERIES

SECOND FLOOR PLAN W/ NOTES

**Park
Square
HOMES**

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ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000





GENERAL NOTES

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7. PULL ALL DIMENSIONS FROM THE REAR OF THE PLAN

8. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFO.

WALL LEGEND

FIRST FLOOR

DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF.

DENOTES CONC. BLOCK WALL HGT. @ 11'-4" AFF.

DENOTES 2x INSULATED FRAME WALL

SECOND FLOOR

DENOTES 2ND FLR FRAME WALL HGT. @ 9'-0" AFF.

NOTE: SEE COLOR SHEET FOR FLOORING & INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS	
LIVING:	
FIRST FLOOR	1,676 SF.
SECOND FLOOR	1,304 SF.
TOTAL LIVING	2,980 SF.
GARAGE	604 SF.
ENTRY	83 SF.
LANAI	140 SF.
TOTAL UNDER ROOF	3,801 SF.

ELEVATION C STD

SECOND FLOOR PLAN

W/ DIMENSIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

DISCLAIMER: CONTRACTOR/SUB-CONTRACTOR IS RESPONSIBLE TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO COMMENCEMENT OF CONSTRUCTION. PARK SQUARE HOMES IS NOT RESPONSIBLE FOR ANY MISINTERPRETATIONS, ERRORS, OMISSIONS OR CUSTOM CHANGES MISSED AND NOT REPORTED PRIOR TO CONSTRUCTION. NO EXCEPTIONS.

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SHEET: 03.1

2980 KINGSLEY

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THOMPSON ENGINEERING GROUP, INC.

4441 Vineland Road Suite A8 Orlando, FL 32811

4441 Vineland Road Suite A8 Orlando, FL 32811

Phone: (407) 724-1790

www.tegfl.com

A DIVISION OF PARK SQUARE ENTERPRISES, INC.

5200 Vineland Road, Suite 200 Orlando, Florida 32811

Phone: (407) 629 - 3000



ELEVATION A STD
FRONT ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



ELEVATION A STD
REAR ELEVATION

1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 8TH EDITION, FBC-R 2023 & ASTM C1063 OR C1181.
2. PLASTERING TO BE INSTALLED IAW R103.1 & R103.1.2 OF THE 8TH EDITION, FBC-R 2023
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 8TH EDITION, FBC-R 2023 & ASTM C926.
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.2 & R103.1.3 OF THE 8TH EDITION, FBC-R 2023.
5. FLASHING TO BE INSTALLED IAW R103.4 OF THE 8TH EDITION, FBC-R 2023.
6. WIND RESISTANCE OF WALL COVERINGS & BACK MATERIALS SHALL BE IAW R103.1.2 OF THE 8TH EDITION, FBC-R 2023
7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.
8. ALL FIBER CEMENT SIDING SHALL BE IAW R103.1 OF THE 8TH EDITION, FBC-R 2023.
9. "ZIP SYSTEMS" WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR FRAME WALLS.
10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

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LOT: 0000, COMMUNITY

REVISIONS	
DELTA #	DATE
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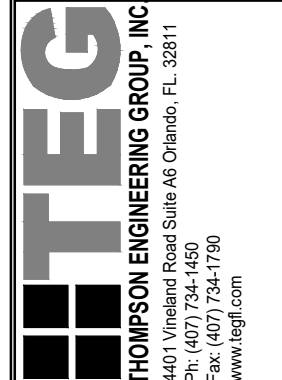
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FLORIDA SERIES

EXTERIOR ELEVATION
FRONT AND REAR

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Orlando, Florida 32811
Phone: (407) 529 - 3000

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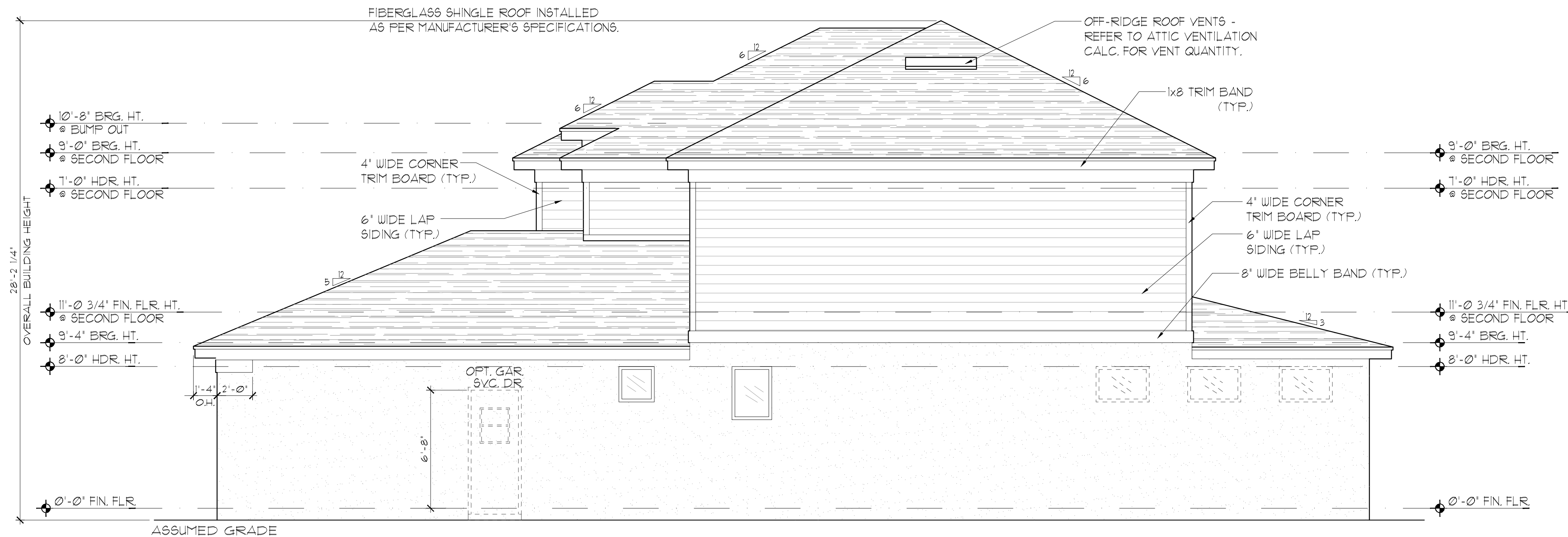
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ELEVATION A STD
LEFT ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



ELEVATION A STD
RIGHT ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C1063 OR C1187.
2. PLASTERING TO BE INSTALLED IAW R103.1 & R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C926.
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.2 & R103.1.3 OF THE 8TH EDITION, FBC-R, 2023.
5. FLASHING TO BE INSTALLED IAW R103.4 OF THE 8TH EDITION, FBC-R, 2023.
6. WIND RESISTANCE OF WALL COVERINGS & BACK MATERIALS SHALL BE IAW R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.
8. ALL FIBER CEMENT SIDING SHALL BE IAW R103.1 OF THE 8TH EDITION, FBC-R, 2023.
9. "ZIP SYSTEMS" WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR FRAME WALLS.
10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

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LOT: 0000, COMMUNITY

REVISIONS

DELTA #	DATE
DATE:	11-18-25
SCALE:	AS NOTED
DRAWN:	MR
SHEET:	04.1A

2980 KINGSLEY
FLORIDA SERIES

EXTERIOR ELEVATION
LEFT AND RIGHT

Park Square HOMES
A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineyard Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000

TEG
THOMPSON ENGINEERING GROUP, INC.
1401 Vineyard Road, Suite 200
Orlando, FL 32811
Phone: (407) 734-1700
www.teg.com



ELEVATION B STD
FRONT ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

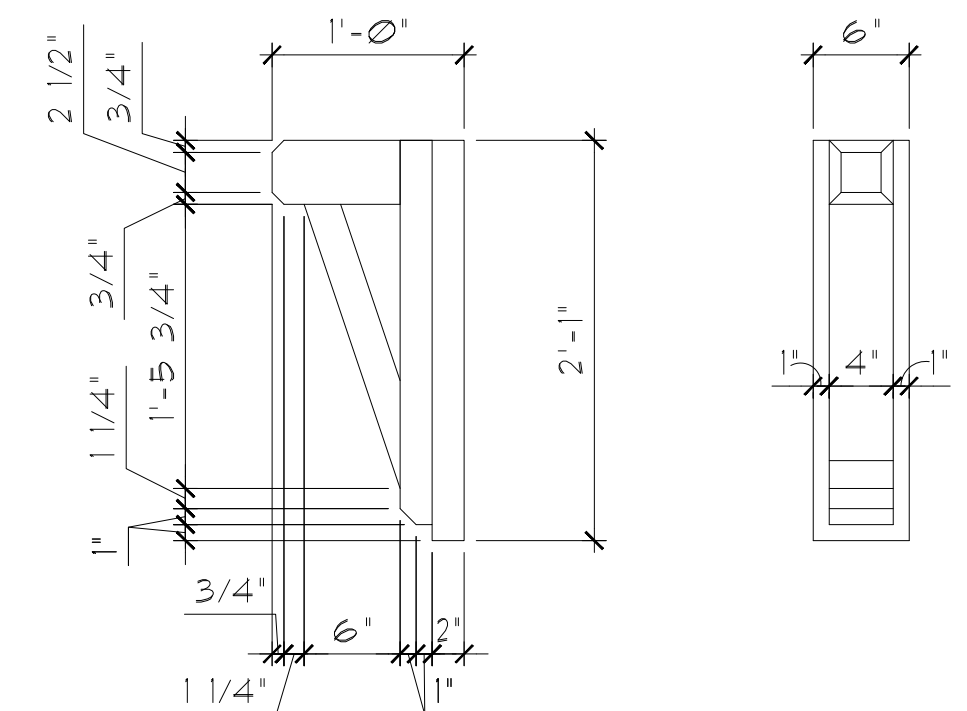


ELEVATION B STD
REAR ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

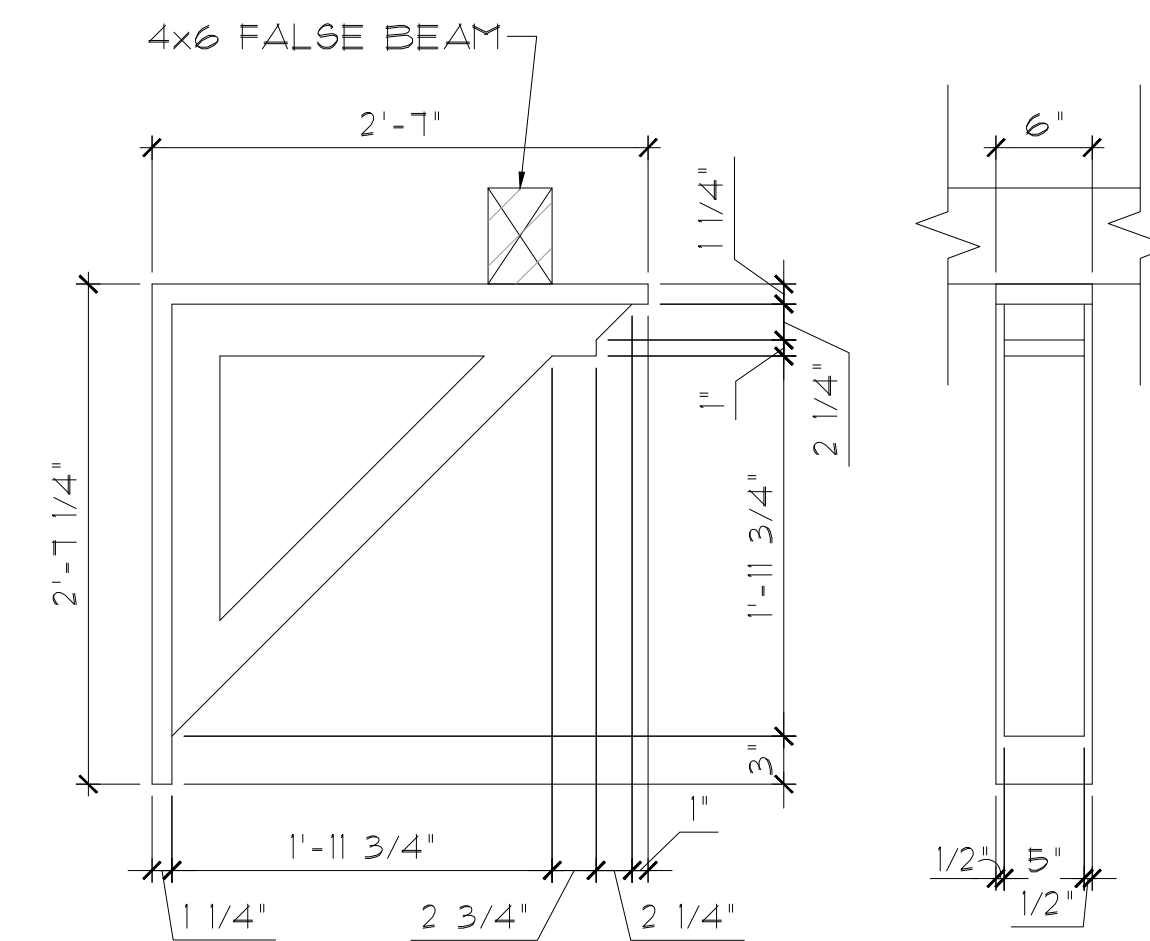
- EXTERIOR FINISH NOTES

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10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.



DETAIL #2 -
FOAM BRACKET

SCALE: 1"=1'-0"



DETAIL #1 - FOAM
BRACKET & FALSE BEAM

SCALE: 1"=1'-0"

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REVISIONS	
DELTA Δ	DATE
DATE:	11-18-25
SCALE: AS NOTED	
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SHEET:	
04.0B	

2980 KINGSLEY

FLORIDA SERIES

EXTERIOR ELEVATION
FRONT AND REAR

Park Square HOMES
A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000

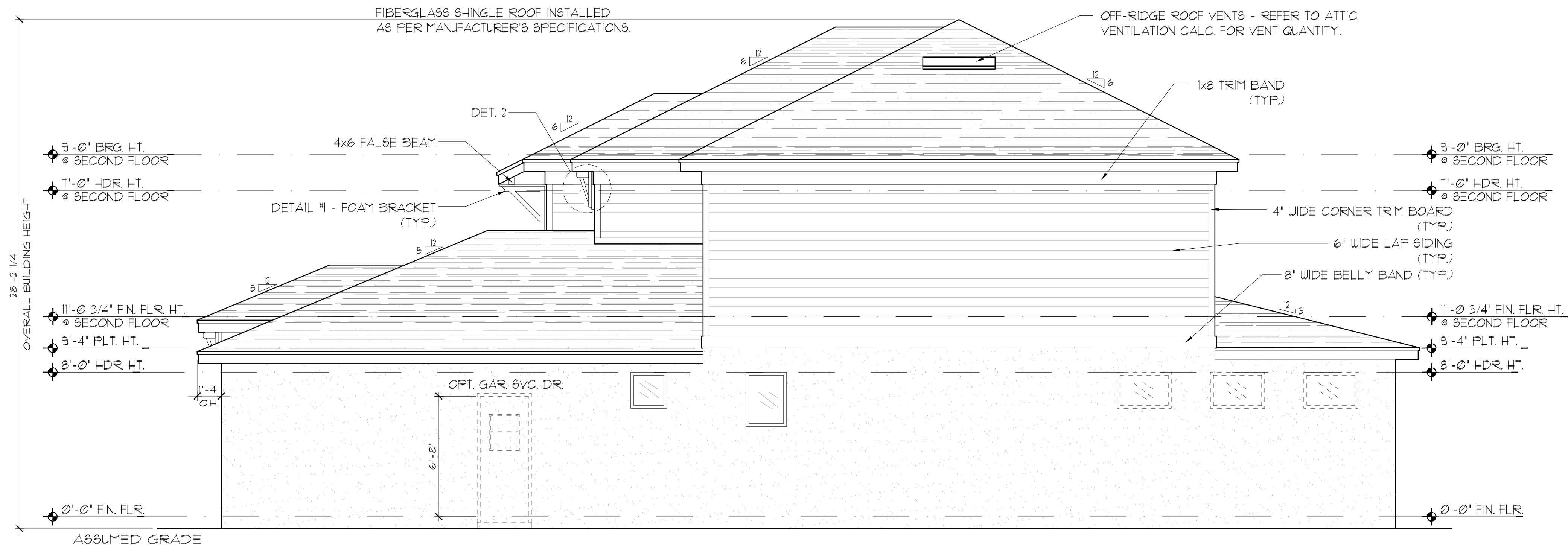
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THOMPSON ENGINEERING GROUP, INC.
401 Vineland Road Suite A6 Orlando, FL 32811
t: (407) 734-1450
ax: (407) 734-1790
www.tegll.com

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ELEVATION B STD
LEFT ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



ELEVATION B STD
RIGHT ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C1063 OR C1181.
2. FLASTERING TO BE INSTALLED IAW R103.1 & R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C926.
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.2 & R103.1.3 OF THE 8TH EDITION, FBC-R, 2023.
5. FLASHING TO BE INSTALLED IAW R103.4 OF THE 8TH EDITION, FBC-R, 2023.
6. WIND RESISTANCE OF WALL COVERINGS & BACK MATERIALS SHALL BE IAW R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.
8. ALL FIBER CEMENT SIDING SHALL BE IAW R103.1 OF THE 8TH EDITION, FBC-R, 2023.
9. "ZIP SYSTEMS" WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR FRAME WALLS.
10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

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EXTERIOR ELEVATION
LEFT AND RIGHT

FLORIDA SERIES

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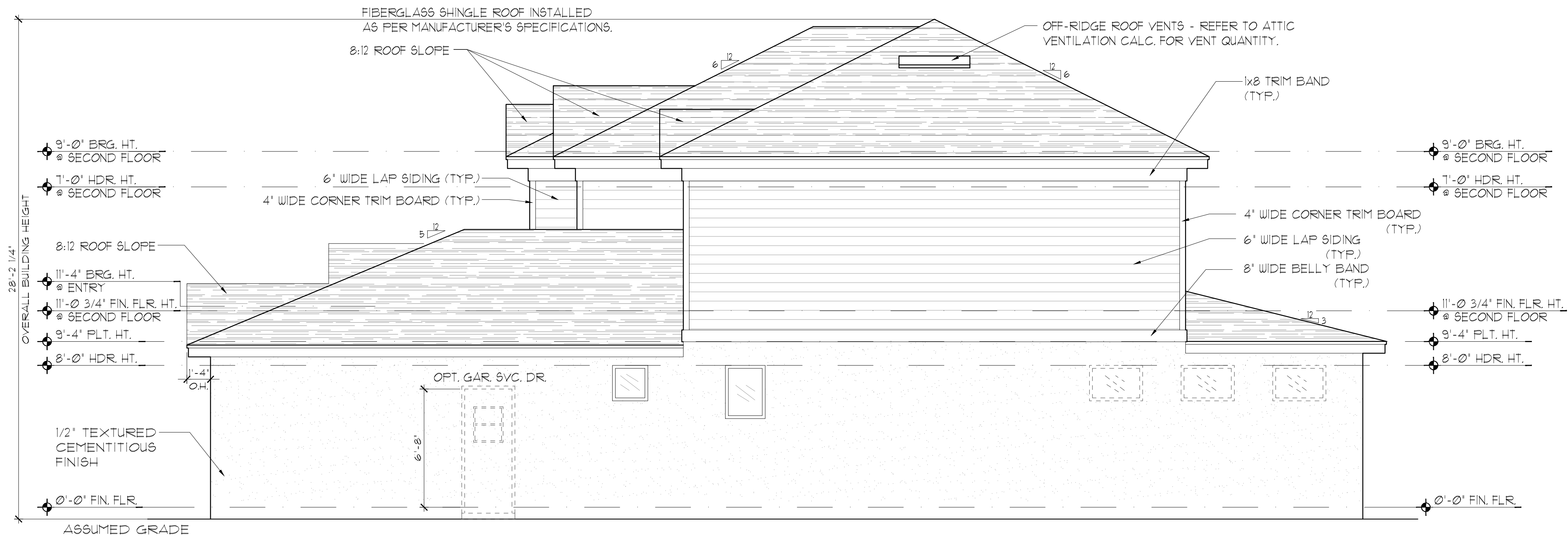
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ELEVATION C STD
LEFT ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



ELEVATION C STD
RIGHT ELEVATION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R103.1.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C1063 OR C1181.
2. FLASTERING TO BE INSTALLED IAW R103.1 & R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
3. WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 8TH EDITION, FBC-R, 2023 & ASTM C926.
4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.2 & R103.1.3 OF THE 8TH EDITION, FBC-R, 2023.
5. FLASHING TO BE INSTALLED IAW R103.4 OF THE 8TH EDITION, FBC-R, 2023.
6. WIND RESISTANCE OF WALL COVERINGS & BACK MATERIALS SHALL BE IAW R103.1.2 OF THE 8TH EDITION, FBC-R, 2023
7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.
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2980 KINGSLEY

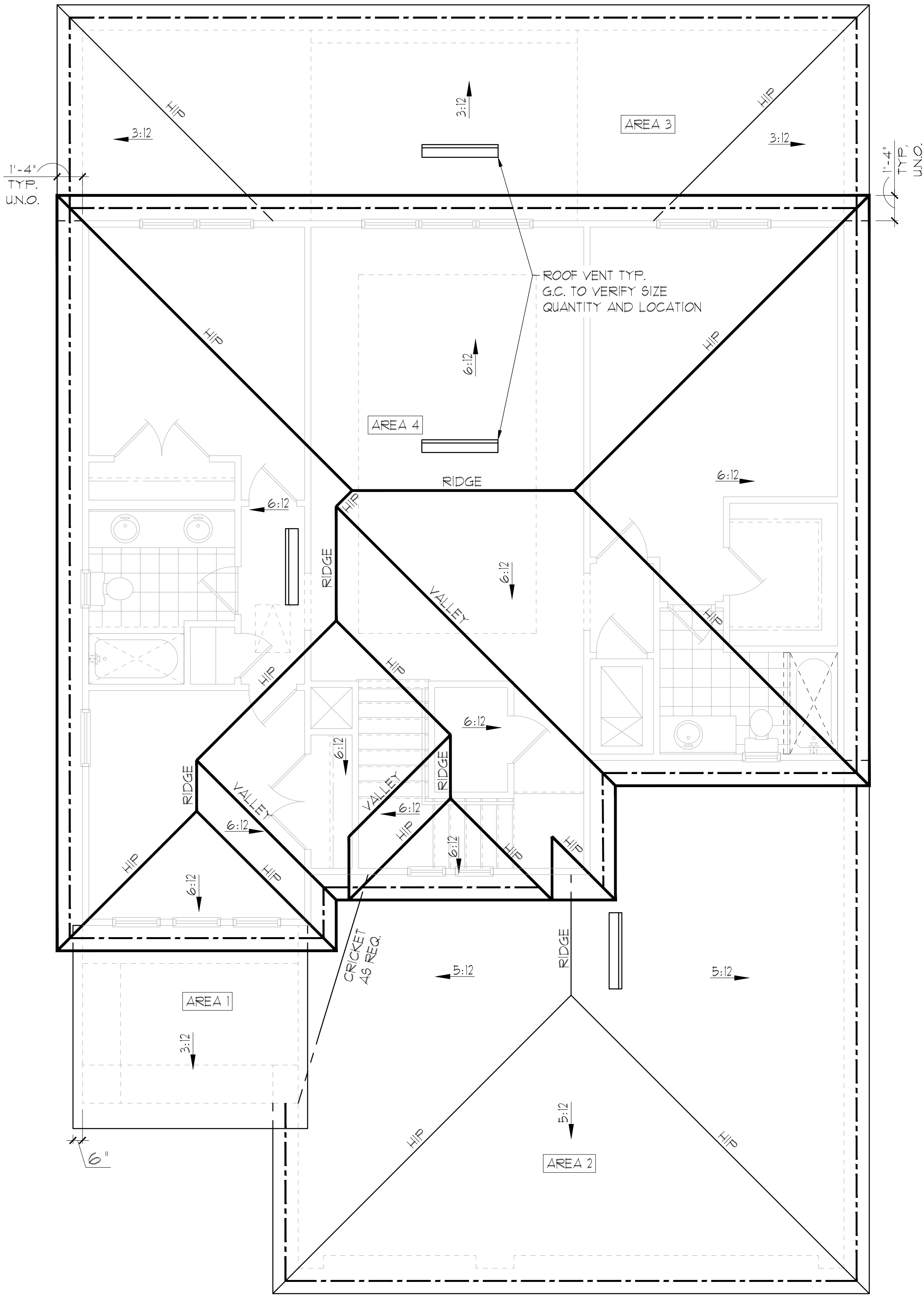
FLORIDA SERIES

EXTERIOR ELEVATION
LEFT AND RIGHT

Park Square
HOMES

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TEG
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1440 Vineland Road, Suite 400, Orlando, FL 32811
PH: (407) 734-1700
WWW.TEG.COM



ELEVATION A STD
ROOF PLAN

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

GENERAL NOTES

ENCLOSED ATTIC SPACES AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE VENTED SPACE, EXCEPT THAT THE REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED, PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.)

1. PLAN SHOWS APPROXIMATE VENT LOCATIONS AND STILL REQUIRES REVIEW BY THE BUILDER/G.C. TO VERIFY ALL VENTING COMPONENTS ARE INSTALLED PER THE MIN. REQUIREMENTS AS STATED IN THE CURRENT EDITION OF THE FBC(R) SECTION R206 AND ALL SUBSEQUENT SUB-SECTIONS.
2. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, PROVIDE BAFFLES TO MAINTAIN A MIN. 1" AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
3. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSIONS OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION GREATER THAN 1/4" SHALL BE PROVIDED WITH AN APPROVED CORROSION PROTECTIVE COVER HAVING A LEAST DIMENSIONS OF 1/16" AND 1/4" MAXIMUM.
4. ALL VENTS SHALL BE INSTALLED PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS (FREE FROM BLOCKAGES AND/OR OBSTRUCTIONS) PROVIDING ADEQUATE CROSS VENTILATION.
5. THE BUILDER/ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CALCULATIONS AND QUANTITIES OF REQUIRED VENTILATORS PRIOR TO INSTALLATION.
6. ROOF PLAN DEPICTED IS NOT INTENDED TO SERVE AS A TRUSS DESIGN
7. SEE BUILDING SECTIONS, WALL SECTIONS & ELEVATIONS FOR BEARING HEIGHTS

CALCULATIONS BELOW ARE BASED OFF OF THE FOLLOWING ASSUMPTIONS:
OFF RIDGE VENTS TO HAVE A NET FREE VENTILATION AREA OF:

TILE: O'HAGIN- MODEL-'S'- 91.5 SQ. INCHES PER VENT INSTALLED

SHINGLE: MILLENNIUM METALS-MMI-2- 80.5 SQ. INCHES PER VENT INSTALLED
LOMANCO-T10D = 140 SQ. INCHES PER VENT INSTALLED

INDICATES POSSIBLE LOCATION OF OFF RIDGE VENTS

SOFFIT VENTILATION TO HAVE A NET FREE VENTILATION AREA OF 10 SQ. INCHES PER LINEAR FT.

ATTIC VENTILATION CALCULATIONS

NET FREE VENTILATED AREA(S): AREA 1 (FRONT PORCH LOW ROOF)
AREA #1 = 106 SQ. FT * 144 / 150 = 102 SQ. IN. REQUIRED
110 SQ. IN. PROVIDED

11 LINEAR FEET OF VENTED SOFFIT @ 10 SQ. IN. PER LINEAR FOOT REQUIRED = 110 SQ. IN.

NET FREE VENTILATED AREA(S): AREA 2 (LOW ROOF OVER GARAGE)
(O'HAGIN- MODEL 'S')
NFVA = 671 SQ. FT * 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 91.5 SQ. IN. (O'HAGIN- MODEL 'S') = 195 SQ. IN. PROVIDED
(MILLENNIUM METALS- MMI-2)
NFVA = 671 SQ. FT * 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 80.5 SQ. IN. (MILLENNIUM METALS- MMI-2) = 161 SQ. IN. PROVIDED
(LOMANCO-T10D)
NFVA = 671 SQ. FT * 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-T10D) = 140 SQ. IN. PROVIDED

4/- 200 LINEAR FEET OF VENTED SOFFIT.

NET FREE VENTILATED AREA(S): AREA 3 (LOW ROOF OVER REAR LANAI)
(O'HAGIN- MODEL 'S')
NFVA = 400 SQ. FT * 144 / 300 = 11-96 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 91.5 SQ. IN. (O'HAGIN- MODEL 'S') = 91.5 SQ. IN. PROVIDED
(MILLENNIUM METALS- MMI-2)
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(1) OFF RIDGE VENTS @ 80.5 SQ. IN. (MILLENNIUM METALS- MMI-2) = 81 SQ. IN. PROVIDED
(LOMANCO-T10D)
NFVA = 671 SQ. FT * 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-T10D) = 140 SQ. IN. PROVIDED

4/- 200 LINEAR FEET OF VENTED SOFFIT.

NET FREE VENTILATED AREA(S): AREA 4 (MAIN UPPER ROOF)
(O'HAGIN- MODEL 'S')
NFVA = 1325 SQ. FT * 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(3) OFF RIDGE VENTS @ 91.5 SQ. IN. (O'HAGIN- MODEL 'S') = 293 SQ. IN. PROVIDED
(MILLENNIUM METALS- MMI-2)
NFVA = 1325 SQ. FT * 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(4) OFF RIDGE VENTS @ 80.5 SQ. IN. (MILLENNIUM METALS- MMI-2) = 322 SQ. IN. PROVIDED
(LOMANCO-T10D)
NFVA = 1325 SQ. FT * 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-T10D) = 280 SQ. IN. PROVIDED

4/- 200 LINEAR FEET OF VENTED SOFFIT.

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Park Square HOMES

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FLORIDA SERIES

REVISIONS

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DATE:

11-18-25

SCALE:

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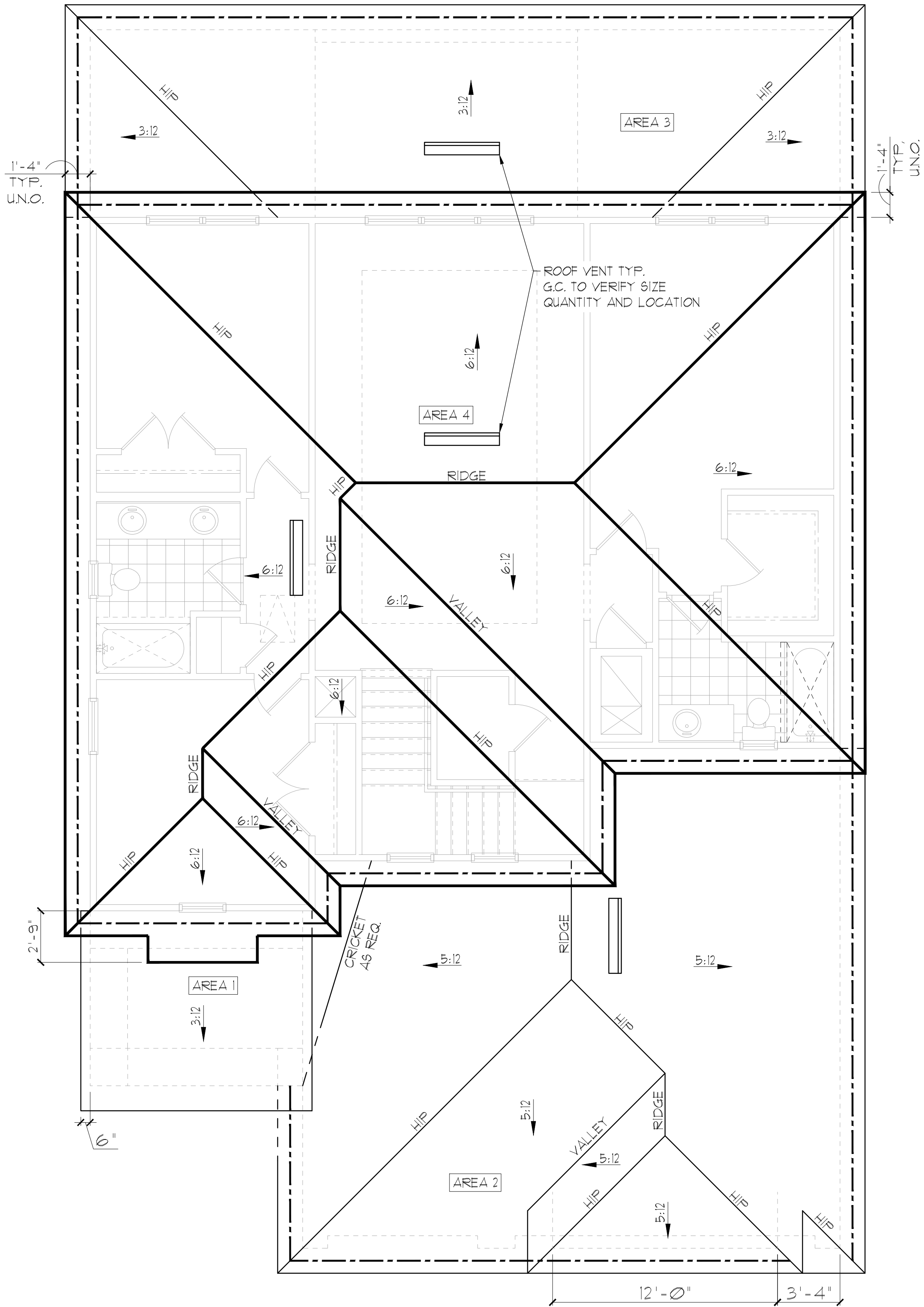
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MR

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ELEVATION B STD
ROOF PLAN

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

GENERAL NOTES

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CALCULATIONS BELOW ARE BASED OFF OF THE FOLLOWING ASSUMPTIONS:
OFF RIDGE VENTS TO HAVE A NET FREE VENTILATION AREA OF:

TILE: O'HAGIN- MODEL-'S'= 915 SQ. INCHES PER VENT INSTALLED
SHINGLE: MILLENNIUM METALS-MMI-2= 805 SQ. INCHES PER VENT INSTALLED
LOMANCO-T10D = 140 SQ. INCHES PER VENT INSTALLED

INDICATES POSSIBLE LOCATION OF OFF RIDGE VENTS

SOFFIT VENTILATION TO HAVE A NET FREE VENTILATION AREA OF 10 SQ. INCHES PER LINEAR FT.

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11 LINEAR FEET OF VENTED SOFFIT @ 10 SQ. IN. PER LINEAR FOOT REQUIRED = 110 SQ. IN.

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(O'HAGIN- MODEL 'S')
NFVA = 671 SQ. FT * 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 915 SQ. IN. (O'HAGIN- MODEL 'S') = 195 SQ. IN. PROVIDED
(MILLENNIUM METALS- MMI-2)
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(2) OFF RIDGE VENTS @ 805 SQ. IN. (MILLENNIUM METALS- MMI-2) = 161 SQ. IN. PROVIDED
(LOMANCO-T10D)
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(1) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-T10D) = 140 SQ. IN. PROVIDED
4/- 200 LINEAR FEET OF VENTED SOFFIT.

NET FREE VENTILATED AREA(S): AREA 3 (LOW ROOF OVER REAR LANAI)
(O'HAGIN- MODEL 'S')
NFVA = 400 SQ. FT * 144 / 300 = 11-96 SQ. IN. REQUIRED (40%-50%)

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(1) OFF RIDGE VENTS @ 805 SQ. IN. (MILLENNIUM METALS- MMI-2) = 81 SQ. IN. PROVIDED
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Roof Plan

2980 KINGSLEY

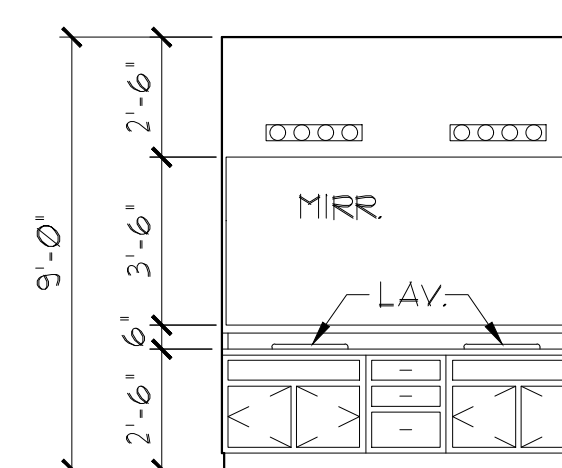
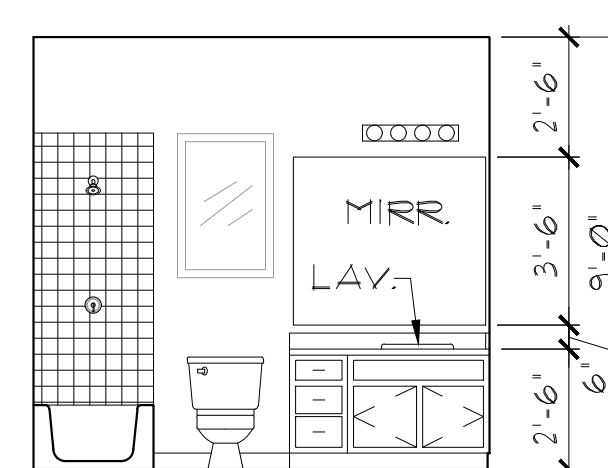
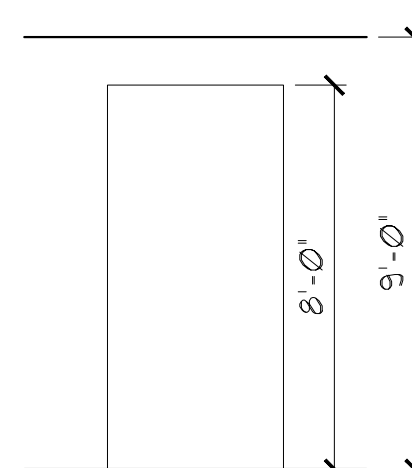
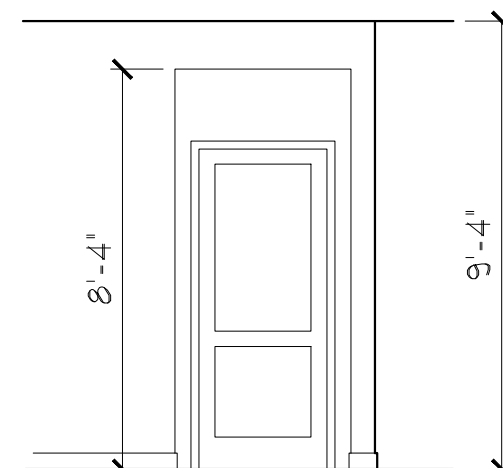
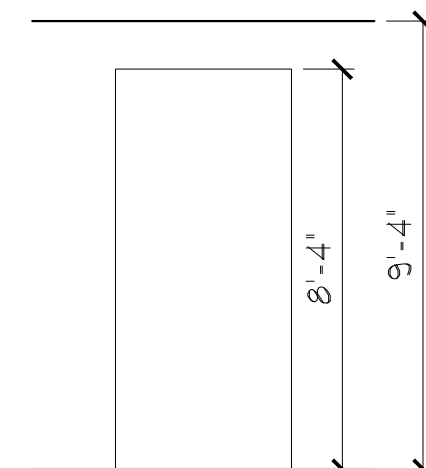
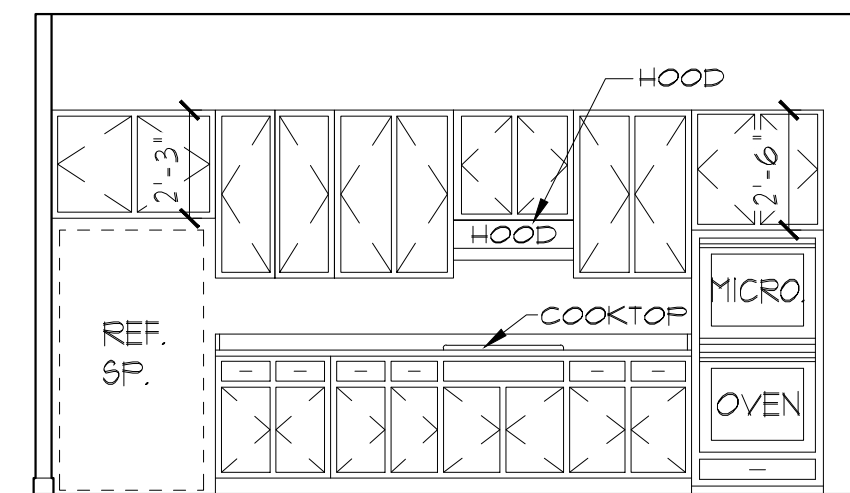
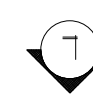
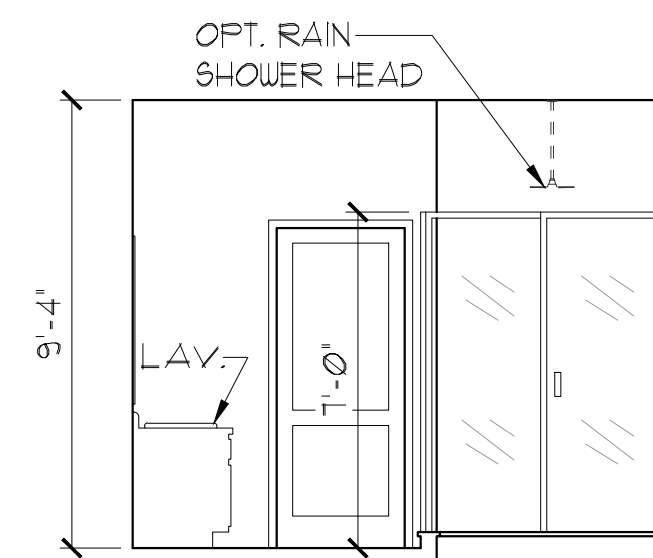
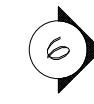
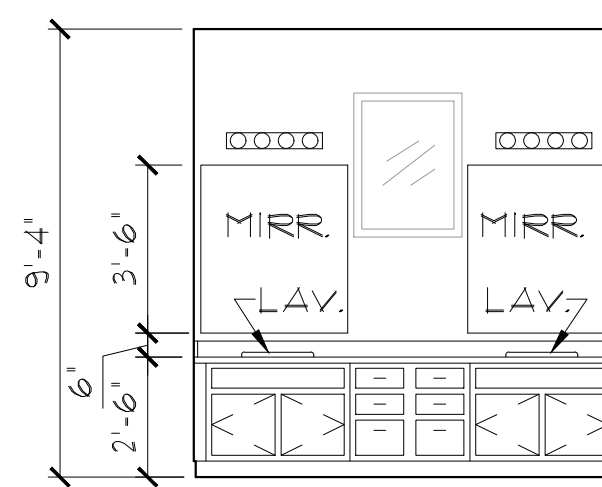
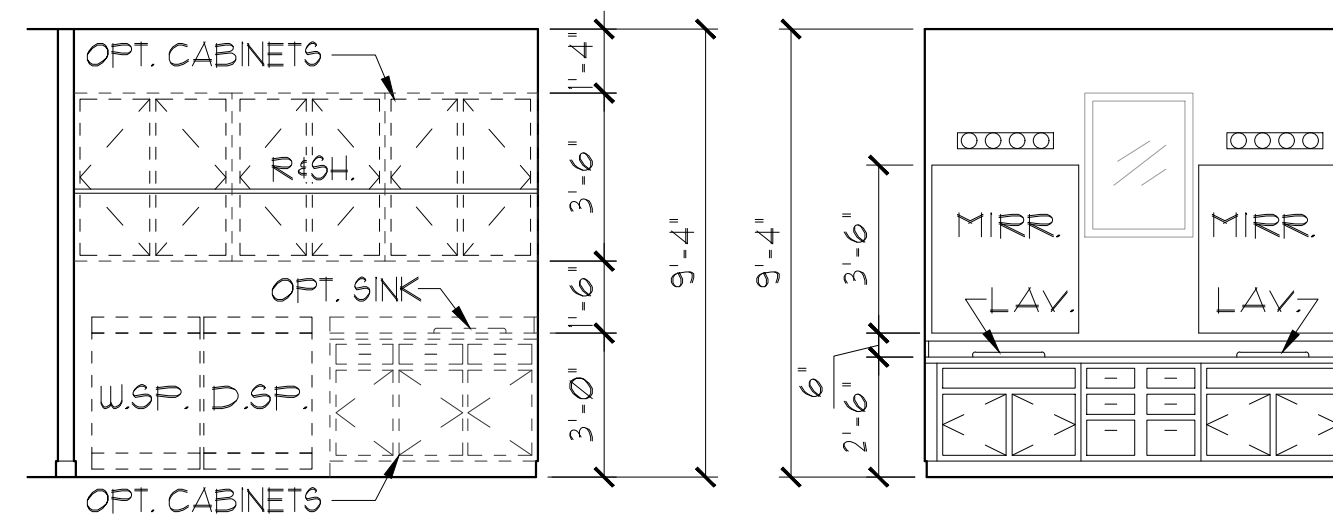
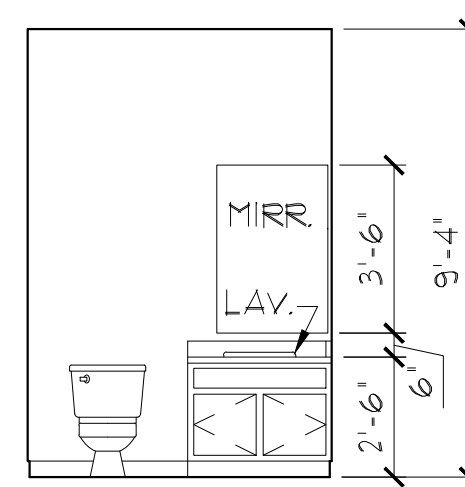
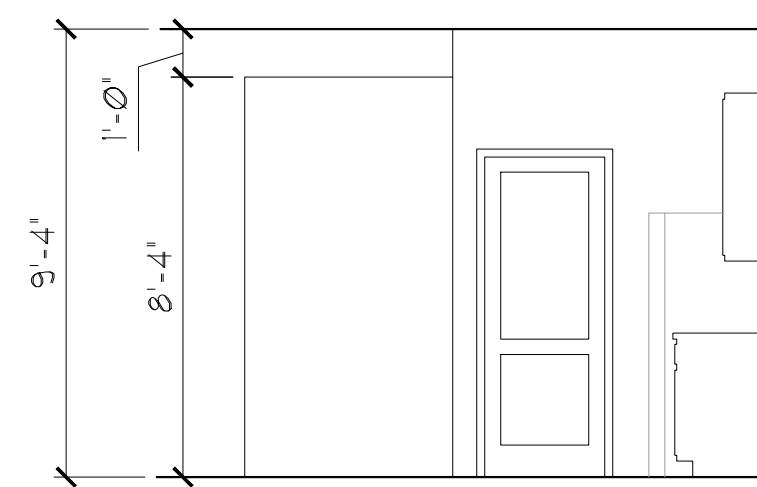
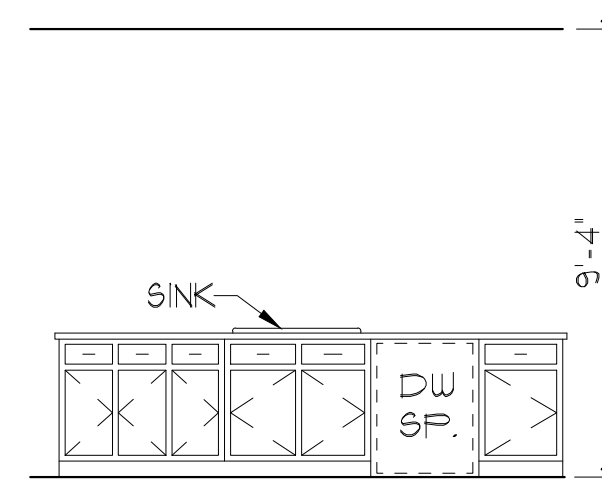
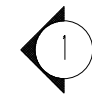
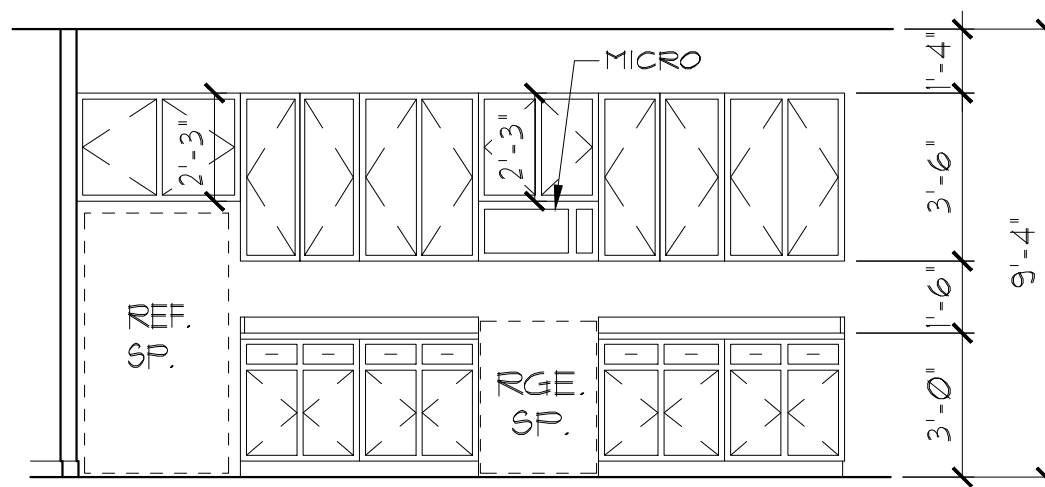
FLORIDA SERIES

REVISIONS	
DELTA #	DATE

DATE: 11-18-25
SCALE: AS NOTED
DRAWN: MR
SHEET: 05.0



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INTERIOR ELEVATIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE-RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY

REVISIONS	
DELTA #	DATE
DATE: 11-18-25	
SCALE: AS NOTED	
DRAWN: MR	
SHEET:	
06.0	

2980 KINGSLEY

FLORIDA SERIES

INTERIOR ELEVATIONS

Park Square HOMES

A DIVISION OF PARK SQUARE
ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000

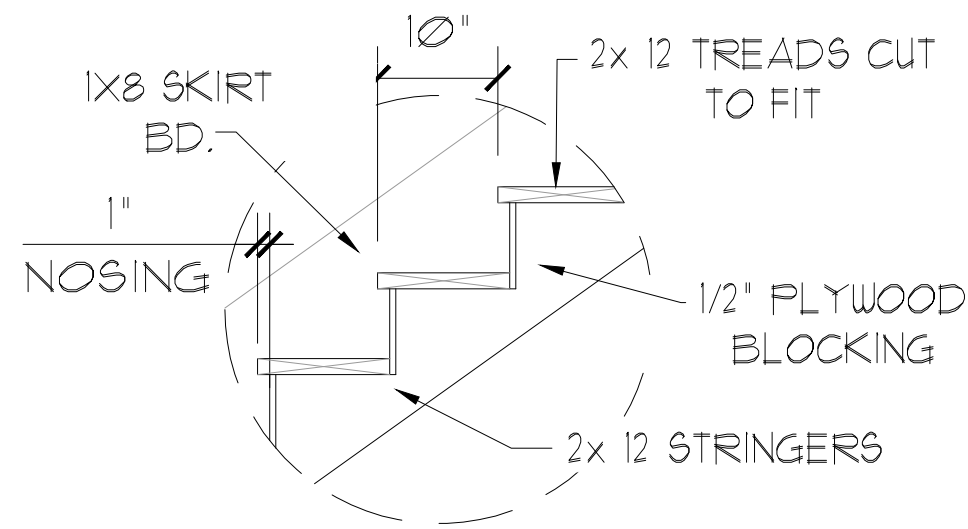


THOMPSON ENGINEERING GROUP, INC.
4401 Vineland Road Suite A6 Orlando, FL 32811
Ph: (407) 734-1450
Fax: (407) 734-1790
www.tegrl.com

DISCLAIMER: CONTRACTOR/SUB-CONTRACTOR IS RESPONSIBLE TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO COMMENCEMENT OF CONSTRUCTION. PARK SQUARE HOMES IS NOT RESPONSIBLE FOR ANY MISINTERPRETATIONS, ERRORS, OMISSIONS OR CUSTOM CHANGES MISSED AND NOT REPORTED PRIOR TO CONSTRUCTION. NO EXCEPTIONS.

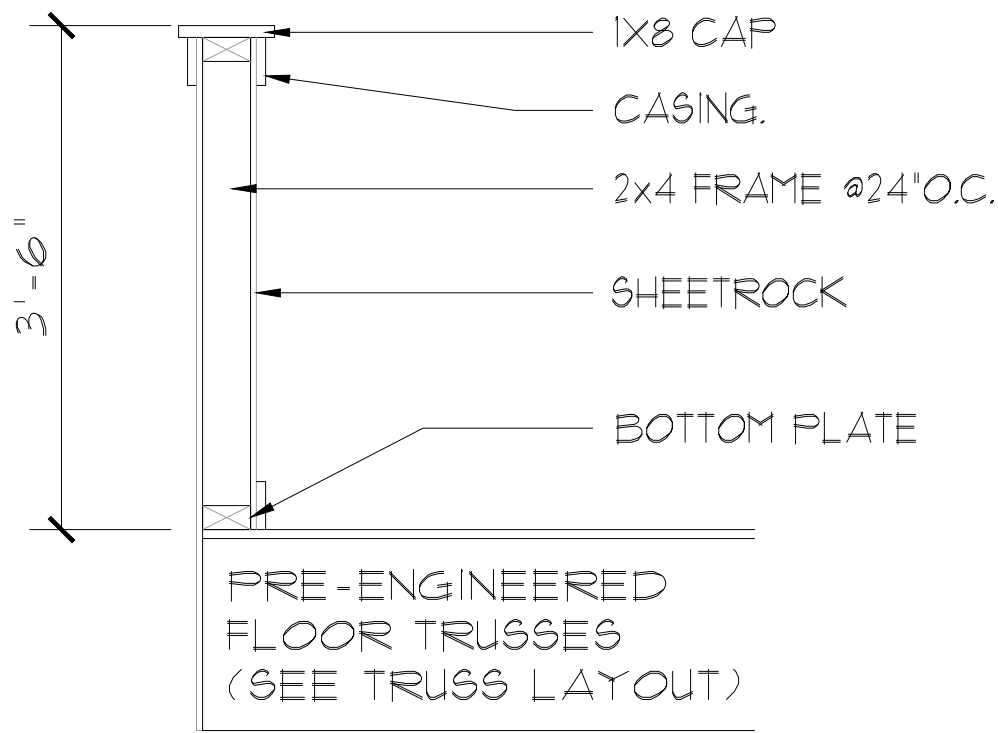
NOTES:

1. STAIRWAY CONSTRUCTION TO CONFORM TO FBC-R 2023, 8TH EDITION SECTION R311.7
2. MAX HT. OF RISER TO BE 7-3/4".
3. MIN. WIDTH OF TREAD TO BE 10" (EXCLUSIVE OF 1" NOSING).
4. 3/16" MAX VARIATION IN RISERS/TREADS ADJACENT TO EACH OTHER.
5. 3/8" MAX VARIATION IN ANY STAIR RUN.
6. HAND RAIL CIRCULAR CROSS SECTION DIA. TO BE 1-1/4" - 2" OR TO PROVIDE EQUIVALENT GRASPABILITY.
7. 34"-38" HANDRAIL HT.
8. HEADROOM CLEARANCE MIN 6'-8".



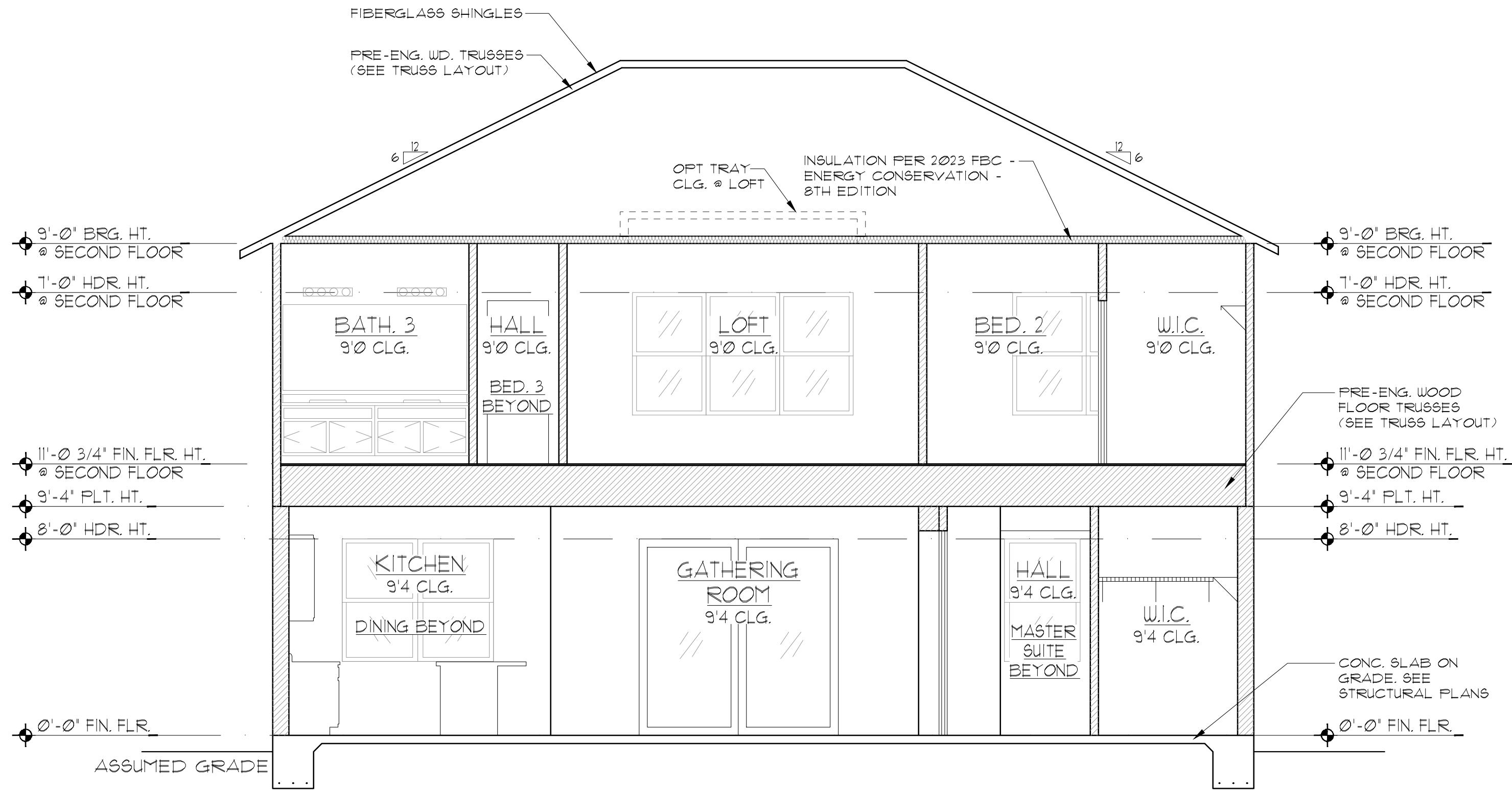
TREAD & RISER DETAIL

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)

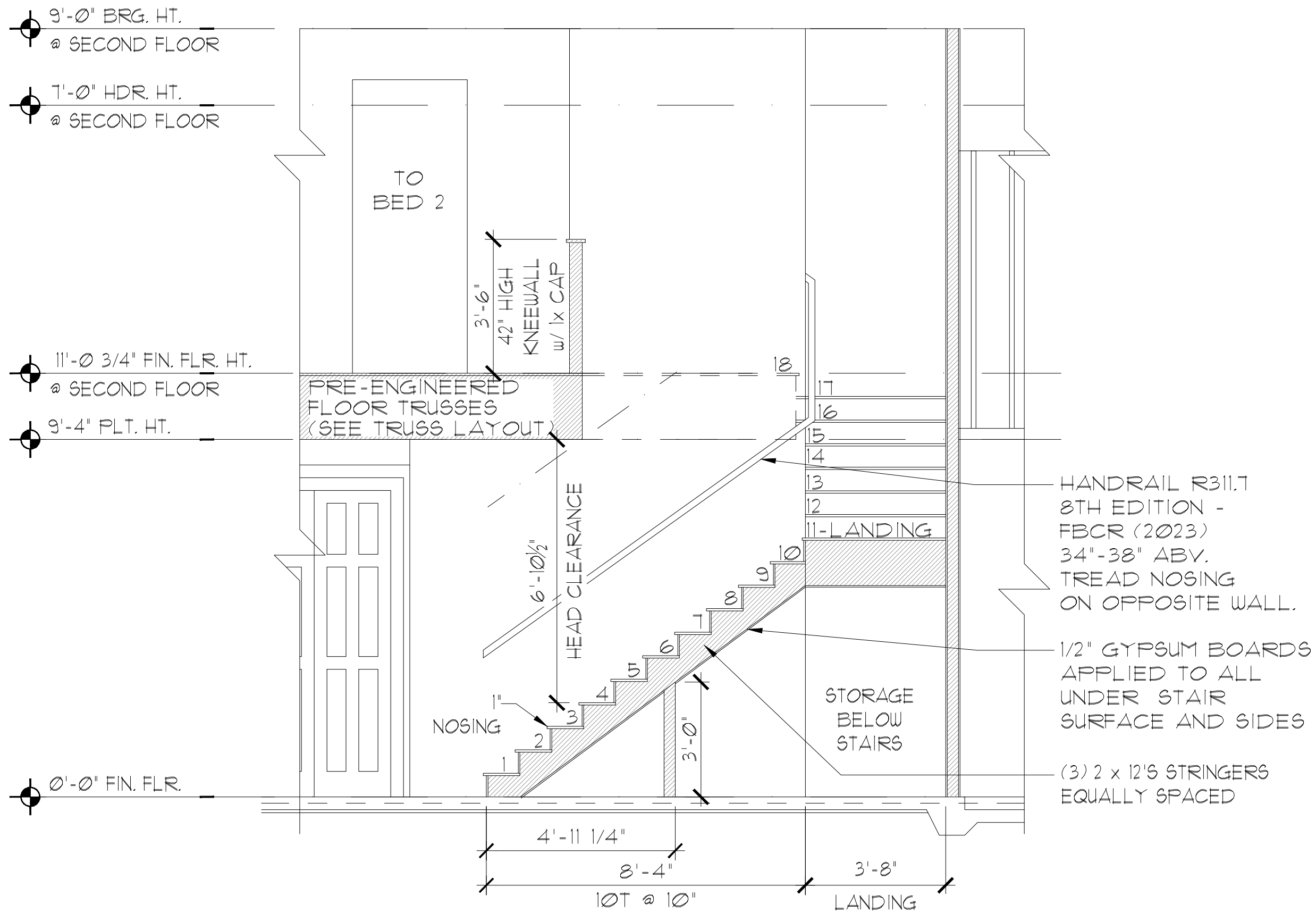


HALF WALL DETAIL

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



A BUILDING SECTION
1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



DATA: TOTAL RISE: 11'-0 3/4" (18 RISERS @ 7 3/8" EA.)
TOTAL RUN: 17' (17 TREADS @ 10" EA.)

B STAIR SECTION
3/8" = 1'-0" (11x17) 3/4" = 1'-0" (22x34)

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DELTA #	DATE
DATE:	11-18-25
SCALE:	AS NOTED
DRAWN:	MR
SHEET:	06.1

2980 KINGSLEY
FLORIDA SERIES

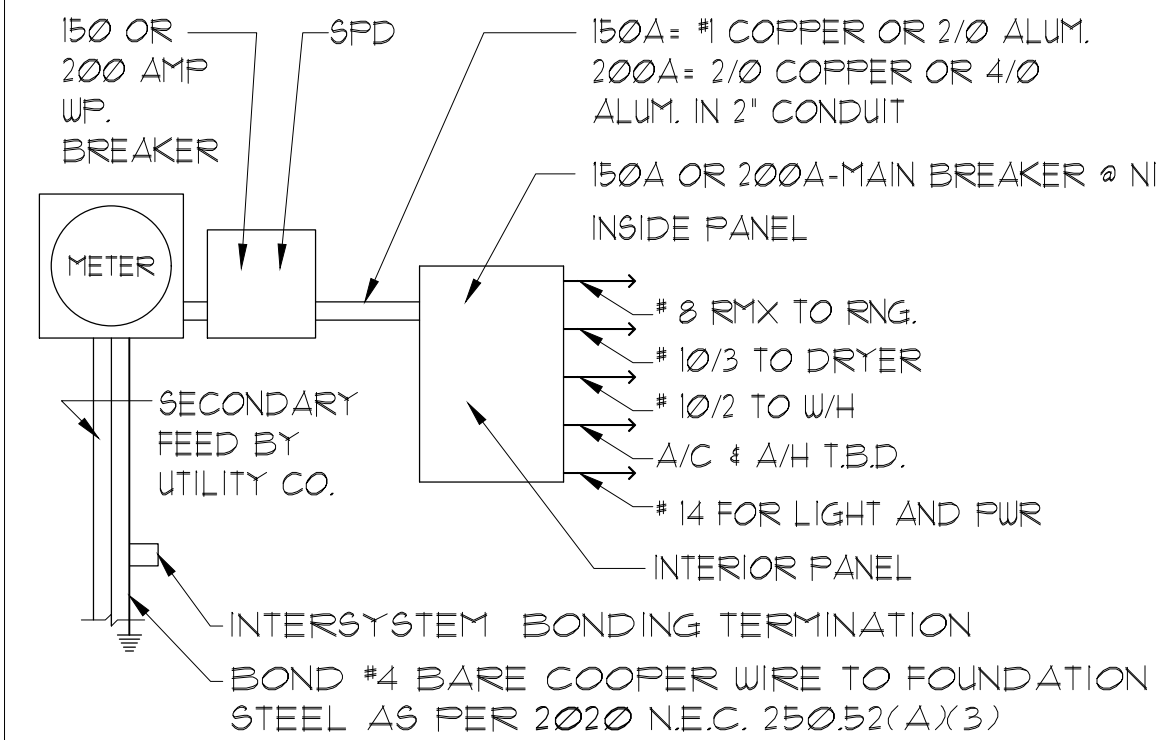
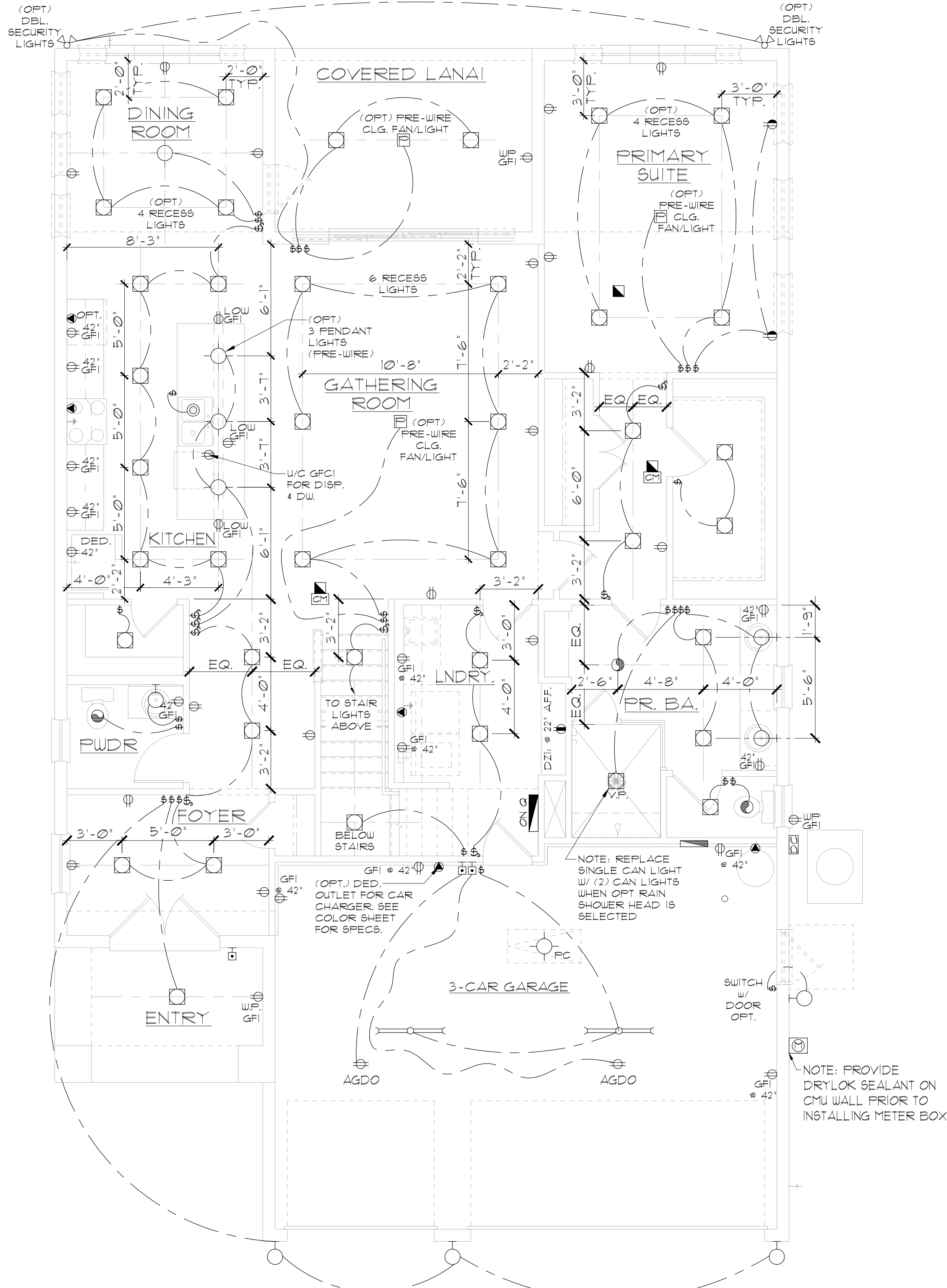
STAIR & BUILDING
SECTION

Park Square
HOMES

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ENTERPRISES, INC.
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Orlando, Florida 32811
Phone: (407) 629 - 3000

ITEG
THOMPSON ENGINEERING GROUP, INC.
4441 Vineland Road Suite 40 Orlando, FL 32811
P.O. Box 1700
Fax: (407) 741-1700
www.iteg.com

NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS
NOTE: ELEC. CONTRACTOR TO VERIFY IF ON-Q IS NEEDED PER COMMUNITY SPECS.



ELECTRICAL RISER DIAGRAM
NTS.

NOTES:
1. ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), NFPA 70 LOCAL CODES, AND THE LOCAL POWER/ UTILITY COMPANY.
2. ALL SERVICES SUPPLYING DUELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTION DEVICE (SPD) THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD.
3. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

250.52(A)(3) Concrete-Encased Electrode.
Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long. There are two types of concrete-encased electrodes: (1) steel reinforcing bars or rods which are not less than 1/2 inch in diameter and at least 20 ft. long, encased in 2 inches of concrete; (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in 2 inches of concrete. The steel reinforcing rods must be in a location that is in direct contact with the earth. The reinforcing rods can be connected with tie wires, and a single length of rod can be used as the concrete-encased electrode. The reinforcing rods cannot be coated with non-conductive material. Section 250.50 requires a concrete-encased electrode to be connected to the grounding electrode system if it is present. Several states have modified this requirement to say a concrete-encased electrode must be used as a grounding electrode only if it is available. In those jurisdictions, if the footings or foundations have been poured before the electrical contractor arrives at the site, and a reinforcing rod is not available for use as a grounding electrode, then a grounding connection to the reinforcing rod is not required.

ELECTRICAL LEGEND		
⌚	SINGLE POLE SWITCH	◀ OUTLET, PHONE
⌚	THREE WAY SWITCH	◻ INTERCOM
⊖	OUTLET 110-115	⊞ CHIMES
⊖	OUTLET 110-115, SPLIT WIRED	⬢ SMOKE DETECTOR/SMOKE ALARM W/ INTEGRATED SOUNDER BASE
⊖	OUTLET 110-115, W/ USB	⊞ CARBON MONOXIDE
⊖	OUTLET 110-115, CEILING MOUNTED	⊞ PUSH BUTTON
⊖	OUTLET 110-115, FLOOR MOUNTED	⊞ EXHAUST FAN
⬢	SPECIAL PURPOSE 220-240	⊞ EX. FAN/LIGHT COMBO
⊙	LIGHT FIXTURE, CEILING MOUNTED	⊞ DISPOSAL
⊙	LIGHT FIXTURE, WALL MOUNTED	⊞ ON-Q PANEL
⊞	LED LIGHT FIXTURE, RECESSED	⊞ ELECTRICAL PANEL
⊞	LIGHT FIXTURE, RECESSED ADJUST.	⊞ CEILING FAN, PREWIRE
⊞	LIGHT FIXTURE, PULL CHAIN	⊞ CEILING FAN, INSTALL
⊞	LED LIGHT FIXTURE, FLUORESCENT	⊞ ELEC. JUNCTION BOX
⊞	LIGHT FIXTURE, EXTERIOR FLOODS	⊞ THERMOSTAT
⊞	LIGHT FIXTURE, EMERGENCY EXIT	⊞ DISCONNECT SWITCH
⊞	LIGHT FIXTURE, EXIT/BACKUP	⊞ ELEC. POWER METER
⊞	OUTLET, TV/CABLE	

ELECTRICAL DEVICES		ABOVE FIN. FLR.	
SWITCHES AND WALL OUTLETS OVER COUNTERS	48" TO C.L.	REMAINING SWITCHES	48" TO C.L.
WALL OUTLETS	12" TO C.L.	TELEPHONE OUTLETS	12" TO C.L.
TELEVISION OUTLETS	12" TO C.L.	EXTERIOR GFI'S	12" TO C.L.
GARAGE GFI'S (ABOVE GARAGE FLOOR)	48" TO C.L.	THERMOSTAT	54" TO C.L.
DOOR BELL CHIMES	84" TO C.L.	DOOR BELL BUTTON	84" TO C.L.
KITCHEN HOOD FAN "WHIP"	LEVEL W/ DOOR HANDLE	KITCHEN WALL HUNG MICROWAVE RECEPTACLE	66" TO C.L.
KITCHEN DISHWASHER RECEPTACLE	16" TO C.L.	KITCHEN RANGE	24" TO C.L.
KITCHEN REFRIGERATOR	48" TO C.L.	WASHER/DRYER OUTLET	36" TO C.L.
HOLLYWOOD LIGHTS	84" TO C.L.		

C.L. = CENTER LINE

ELEVATION A,B,C STD
FIRST FLOOR UTILITY PLAN
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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LOT: 0000, COMMUNITY

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www.itec.com

Park Square HOMES

FIRST FLOOR

UTILITY PLAN

2980 KINGSLEY

FLORIDA SERIES

REVISIONS

DELTA #	DATE

DATE: 11-18-25

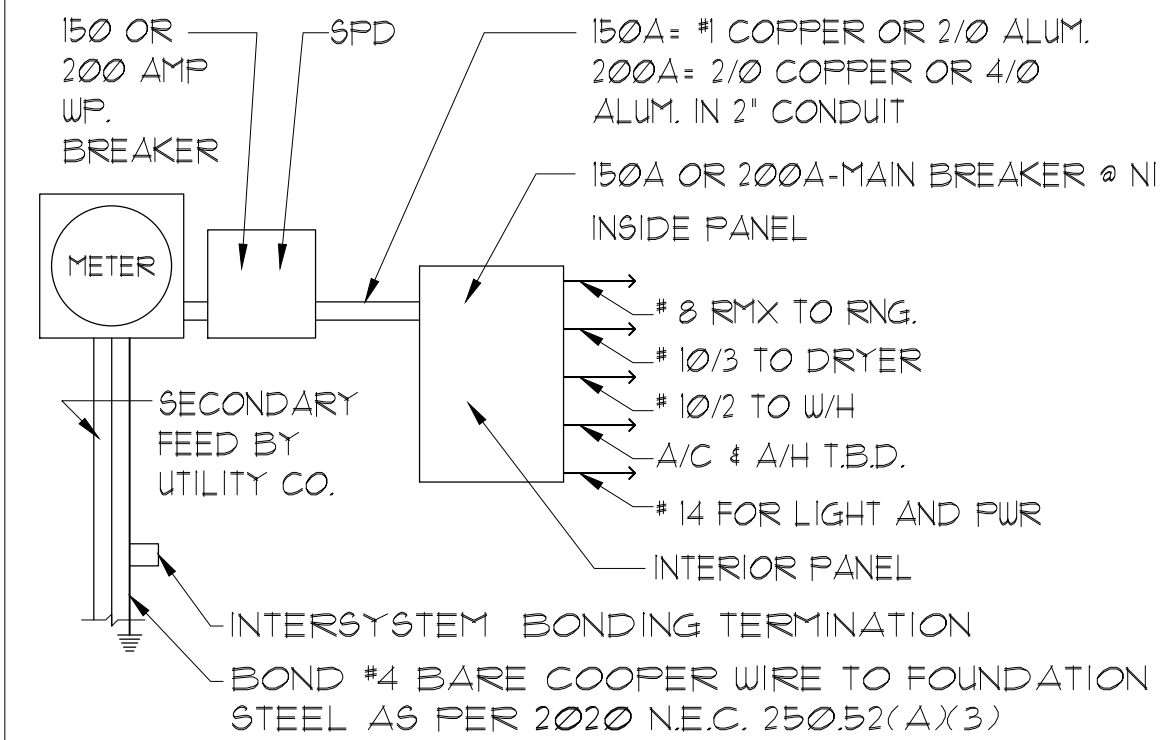
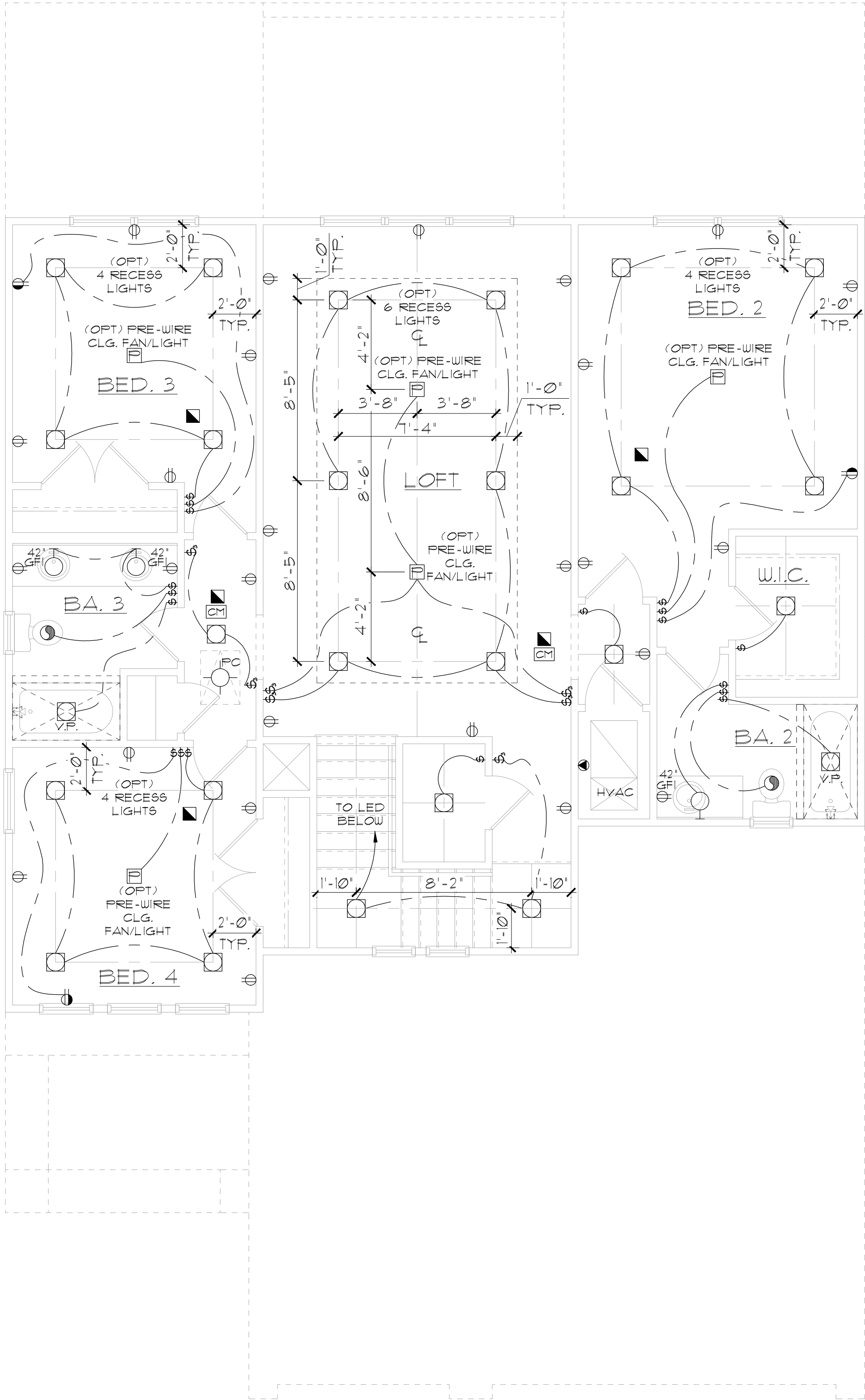
SCALE: AS NOTED

DRAWN: MR

SHEET: E1

NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS

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N.T.S.

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☐	LIGHT FIXTURE, RECESSED ADJUST.	☐	CEILING FAN, PREWIRE
☐	LIGHT FIXTURE, PULL CHAIN	☐	CEILING FAN, INSTALL
☐	LED LIGHT FIXTURE, FLUORESCENT	☐	ELEC. JUNCTION BOX
☐	LIGHT FIXTURE, EXTERIOR FLOODS	☐	THERMOSTAT
☐	LIGHT FIXTURE, EMERGENCY EXIT	☐	DISCONNECT SWITCH
☐	LIGHT FIXTURE, EXIT/BACKUP	☐	ELEC. POWER METER
☐	OUTLET, TV/CABLE		

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ELEVATION A,B,C STD
SECOND FLOOR UTILITY PLAN

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

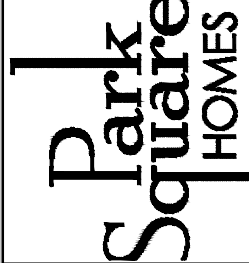
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Phone: (407) 629 - 3000



SECOND FLOOR
UTILITY PLAN

2980 KINGSLEY
FLORIDA SERIES

REVISIONS

DELTA #	DATE
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DATE: 11-16-25

SCALE: AS NOTED

DRAWN: M/R

SHEET:

E2